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CONSOLIDATION UPDATE: FEBRUARY 27, 2025



Downtown Winnipeg Zoning By-law No. 100/2004

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THE CITY OF WINNIPEG

DOWNTOWN WINNIPEG ZONING BY-LAW
NO. 100/2004

**A By-law of THE CITY OF WINNIPEG to
control and regulate the use of real property
and development in Downtown Winnipeg.**

THE CITY OF WINNIPEG, in Council assembled, enacts as follows:

TITLE

1. This By-law may be cited as the **"Downtown Winnipeg Zoning By-law"**.

CONTENTS

2. The following Parts, titled:

Part 1: Administration
Part 2: General Provisions
Part 3: Multiple-Use Sector
Part 4: Character Sector
Part 5: Downtown Living Sector
Part 6: Riverbank Sector
Part 7: Definitions
Part 8: Zoning Maps

attached hereto, are hereby adopted as the zoning by-law for the lands designated in Part 8.

EFFECTIVE DATE

3. This By-law shall come into force and effect on June 23, 2004.

DONE AND PASSED in Council assembled, this 23rd day of June, 2004.

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PART 1:

ADMINISTRATION

Part 1: Administration

Scope

- 100(1) This by-law controls and regulates the use of real property and development in the portion of the City of Winnipeg designated in Part 8, referred to as Downtown Winnipeg.
- 100(2) This by-law is intended to advance downtown policies in OurWinnipeg and the Complete Communities Direction Strategy; in particular to support and enhance the unique and distinctive neighbourhoods, functional districts, character areas, and focal points that combine to form a diverse, vibrant downtown.
amended 34/2014
- 100(3) The area covered by this by-law (Downtown Winnipeg) is divided into the following sectors:
Multiple-Use Sector - Part 3;
Character Section - Part 4;
Downtown Living Sector - Part 5;
Riverbank Sector - Part 6.
- Also see the map following section 160.
- 100(4) Each sector set out in subsection 100(3) controls and regulates the use and Development of real property on the basis of the following:
- (a) Land Use;
 - (b) Bulk;
 - (c) Signs;
 - (d) Parking;
 - (e) Loading;
 - (f) Urban Design.
- 100(5) No buildings, structures, or lands may be used or occupied and no buildings, structures, or lands may be erected or altered except in accordance with this by-law.
- 100(6) In the interpretation and application of the zoning maps in Part 8 and the sectors set out in subsection 100(3), the following rules apply:

- (a) boundaries indicated as approximately following the centre lines of public rights-of-way - including streets, lanes, and walkways - shall be construed to follow such centre lines;
- (b) boundaries indicated as approximately following the centre lines of rivers, railways, lines, and utility lines shall be construed to follow such centre lines;
- (c) boundaries indicated as approximately following lot or holding lines on a registered plan shall be construed to follow such lot or holding lines;

development proposed within public rights-of-way and rivers shall be subject to urban design review.

amended 206/2005

- 100(7) Whenever this by-law and any other by-law of the City of Winnipeg contain conflicting or overlapping provisions, the provision with the most restrictive or highest standard prevails.
- 100(8) Any existing building, structure, or use of land that was unlawful under the provisions of any zoning by-law in force on the effective date of this by-law does not become lawful solely be reason of the enactment of this by-law; and, to the extent that, and in any manner that, said unlawful use, building, or structure is in conflict with the requirements of this by-law, said use, building, or structure remains unlawful hereunder.

Development Regulations, Development Permits, and Zoning Compliance

- 110(1) Subject to subsection (1.3), a person must not commence, continue or maintain, or permit to be commenced, continued or maintained, any development unless a valid development permit has been issued in respect of the development.

amended 179/2006; 40/2024

- (1.1) The Director is authorized to determine the types of development in respect of which a person is not required to obtain a development permit.

replaced 40/2024

- (1.2) The authority referred to in subsection (1.1) must be exercised by way of written declaration, which written declaration must be:

added 179/2006; replaced 40/2024

- (a) dated and signed by the Director;
- (b) provided to the City Clerk; and
- (c) posted on the City of Winnipeg's website.

- (1.3) If the Director has issued a written declaration under subsection (1.2) that a development permit is not required in respect of a particular type of development, then subsection (1) does not apply in respect of that type of development.

added 10/2024

- 110(2) Where a person makes application for a development permit, the Director must issue that permit, unless the application does not conform with OurWinnipeg, a secondary plan, zoning by-laws, or other City of Winnipeg by-laws, in which case a development permit must not be issued.

amended 34/2014

- 110(3) An application for a development permit must be made on a form prescribed by the Director and must be accompanied by the applicable fee, in accordance with the *Planning, Development and Building Fees By-law*.

amended 34/2014

- 110(4) A development permit expires and the right of an owner under that permit terminates if the work authorized by the permit is not commenced within six months from the date of permit issuance, or any specified extensions of that time period granted by the Director, and reasonably continued as determined by the Director without interruption thereafter.

- 110(5) The applicant for a development permit must supply all information requested by the Director to show compliance with this by-law (and all other relevant City of Winnipeg by-laws), including evidence of ownership and where necessary as determined by the Director a Building Location Certificate of the site showing the dimensions of the site, the position of all buildings and structures on the site, and the height of the buildings and structures.

- 110(6) A development permit for use of vacant land may be issued without production of a Building Location Certificate upon the applicant satisfying the Director that the proposed use is in accordance with this by-law.

- 110(7) A development permit for a temporary building or structure approved as such under the *Winnipeg Building By-law* or in respect of a temporary use under this by-law expires on the date specified in the permit, or any specified extensions of the date granted by the Director.

- 110(8) A development permit may be revoked by the Director where there is a violation of this by-law or any other City of Winnipeg by-law in respect of the development, including, but without limiting the generality thereof, where:

- (a) there is any division of a zoning lot that results in making the structure on the zoning lot illegal under the terms of this by-law;

amended 206/2005

- (b) there is any reduction of required yards for a building or structure or any further reduction of non-conforming yards;
 - (c)
 - (d) any information supplied for the development permits is incorrect.
- 110(9) The Director may, upon receipt of such evidence as the Director deems necessary, issue a Zoning Compliance Certificate in respect of a zoning lot confirming any one or more of the following, as of the date of that certificate:
 - (a) that the described uses operated or proposed to be operated on the lot comply with the applicable zoning rules, agreements, and orders;
 - (b) that the development on the lot complies with all zoning regulations, agreements, and orders affecting it;
 - (c) that the locations of the buildings or structures on the lot comply with all zoning regulations, agreements, and orders. See Zoning Memorandum, subsection 110(10).
amended 206/2005
- 110(10) A request for a Zoning Memorandum must be accompanied by a Building Location Certificate confirming the location of the buildings or structures on a zoning lot.
- 110(11) A person requesting approval of any one or more of the following:
 - (a) urban design;
 - (b) variance;
 - (c) conditional use
 - (d) zoning by-law amendment;
 - (e) zoning agreement amendment;
 - (f) plan of subdivision;
 - (g) subdivision agreement amendment;
 - (h) condominium plan;
 - (i) consent;

must complete a development application on a form prescribed by the Director, pay the applicable fee in accordance with the *Planning, Development and Building Fees By-Law*, and supply all information requested by the Director in accordance with subsection 110(12).

amended 34/2014

110(12) The development application must be accompanied by plans drawn to scale which indicate the following:

- (a) shape and dimensions of the property;
- (b) size and location, including all dimensions, of existing and proposed buildings and structures on the property;
- (c) distances between existing and proposed buildings and structures on the property;
- (d) distances between such buildings and structures and any buildings and structures on abutting properties;
- (e) elevations of existing and proposed buildings and structures, including grade level and the finished appearance of each elevation above grade level, indicating facade materials, textures, and colours;
- (f) exterior illumination and lighting fixtures;
- (g) size, location, orientation, lighting, and copy of all signs, including colours, lettering, and other illustration;
- (h) size and location, including all dimensions, of canopies, awnings, and other projections;
- (i) landscaping and other surfacing of the property, including plants, planters, walls, fences, paving walks, parking facilities, loading facilities, driveways, and aisles;
- (j) size and location of refuse storage facilities;
- (k) a professionally prepared and dimensioned lot grading plan;

added 34/2014

and any other information deemed necessary by the Director or the Standing Policy Committee on Property and Development.

amended 48/2011; 106/2015; 137/2022

- 110(13) The Director may in his/her discretion waive the requirement to provide one or more of the items listed in subsection 110(12).

Duties of the Director

- 120(1) The Director may conduct inspections and take steps to administer and enforce this By-law or remedy a contravention of this By-law, in accordance with The City of Winnipeg Charter, and, for those purposes, has the powers of a “designated” employee” under The City of Winnipeg Charter.
- 120(2) Without limiting the generality of subsection 120(1), in accordance with The City of Winnipeg Charter, the Director may issue an order to remedy a contravention of this By-law, requiring the person responsible for the contravention to remedy it.
- 120(3) An order issued under subsection 120(2) must be prepared and served in accordance with The City of Winnipeg Charter.
- 120(4) A recommendation or decision under this By-law must be prepared and served in accordance with The City of Winnipeg Charter.
- 120(5) Where an address for sending an order, recommendation or decision or other document under subsection 120(3) or 120(4) is required, one of the following shall be used:
- (a) if the person to be served is the owner of real property, the address maintained by the tax collector for the purpose of issuing the tax notice for that property;
 - (b) if the person to be served is the occupant of real property, the street address for that property; or
 - (c) the address for service provided by the person to be served, in an application to the City of Winnipeg under this By-law.
- 120(6) An appeal from an order or decision of the Director under this By-law may be made in accordance with The City of Winnipeg Charter to the Standing Policy Committee on Property and Development.
amended 48/2011; 106/2015; 137/2022
- 120(7) The Director will determine whether a proposed use of real property is permitted, conditional, not permitted, or prohibited, on the basis of its similarity to uses specifically identified as permitted or conditional in the relevant sector Land Use table, its scale, and the stated intent of the sector.

Duties of the Property Owner

- 130(1) The property owner is responsible for:

- (a) complying with this by-law in all respects;
 - (b) obtaining any required compliance certificate as set forth herein before occupying a building, structure, or parcel or land or any part thereof;
 - (c) following permit issuance, obtaining the written approval of the Director before proceeding with any work at variance with approved certificates.
- 130(2) The approval of a development application, issuance of any permit, approval of drawings and specifications, or City inspections does not relieve the property owner of the ongoing responsibility to comply with this by-law, other by-laws of the City of Winnipeg, Government of Manitoba legislation, or Government of Canada legislation.
- 130(3) The property owner is also responsible for obtaining all applicable permits and licenses from the appropriate authorities relating to building, lot grades, sewers, water mains, plumbing, street occupancy, electrical, and others required in connection with proposed works.

Offences and Penalties

- 140(1) A person must not undertake, continue or maintain, or permit to be undertaken, continued or maintained, any development or use of a property, building or structure, or any part thereof, unless the development or use complies with:
- amended 24/2025*
- (a) this By-law;
 - (b) the conditions of any development permit issued in respect of the development or use;
 - (c) the conditions of any agreement in respect of the development or use;
 - (d) any urban design approval issued in respect of the property, building or structure; and
 - (e) any variance order or conditional use order issued in respect of the property, building or structure.

- 140(2) Subject to the Municipal By-law Enforcement Act (MBEA) Enabling By-law, a person who contravenes a provision of this By-law that is referred to in Schedule A of the Municipal By-law Enforcement Act (MBEA) Enabling By-law must pay the administrative penalty for that contravention set out in that Schedule. If that Schedule sets out an Early Payment Discount amount, a person who is issued a penalty notice for a contravention of that provision may, within 14 days after the penalty notice has been issued, voluntarily pay to The City of Winnipeg the applicable Early Payment Discount amount and will thereafter not be prosecuted for the contravention.

amended 24/2025

140(3) *deleted 24/2025*

140(4) *deleted 24/2025*

140(5) *deleted 24/2025*

140(6) *deleted 24/2025*

Non-Conformities

- 150(1) A building, structure, or use of land that was lawfully in existence on the date that this by-law comes into force that is not listed as a permitted or conditional use may continue to exist. If such non-conforming use is abandoned or if the building, structure, or land is not so used for more than 12 consecutive months, it may not be used except in conformity with this by-law. The presence of machinery, furniture fixtures, or other equipment or stock-in-trade does not of itself constitute occupation or use thereof; nor does the partial or occasional operation of such equipment or presence of stock-in-trade of itself constitute a use of any building, structure, or land. Any building, structure, or use of land authorized by a variance order, conditional use order, or both is, upon adoption of this by-law and repeal of such order or orders, deemed to comply with this by-law to the extent and for the period of time authorized by such order or orders.

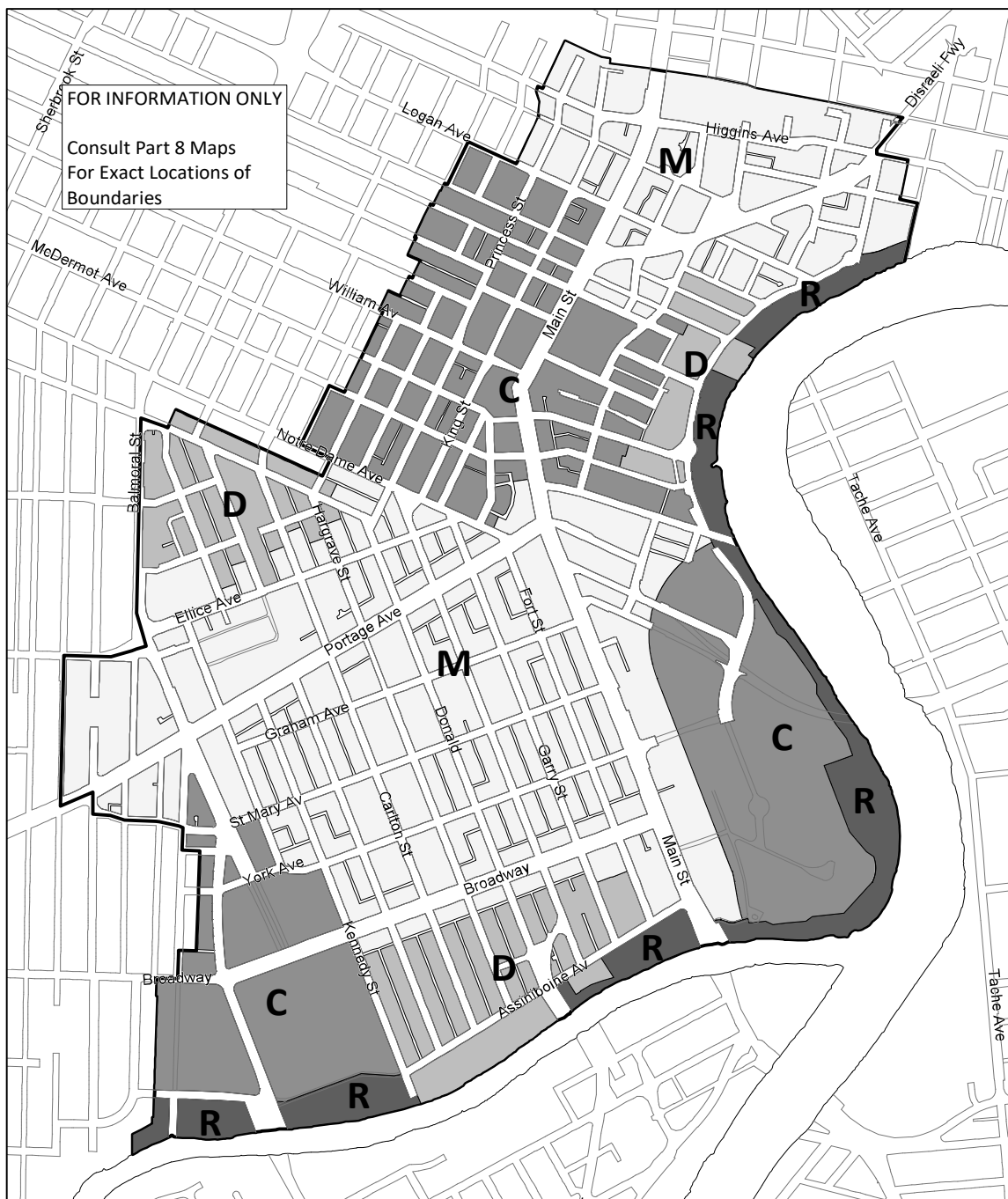
- 150(2) Where a non-conforming use of a building, structure, or land provides no accessory loading spaces or fewer spaces than the number specified in the relevant sector regulations, the use must not be expanded or enlarged unless the number of loading spaces required for the expansion or enlargement is provided.

- 150(3) A building or structure that was lawfully in existence on the date that this by-law comes into force that does not comply with the bulk requirements specified in the relevant sector regulations may continue to exist, but no structural alteration may be made except as required by statute or by-law. Such non-conforming building or structure may be repaired, but if it is destroyed from any cause or damaged to an extent that, in the opinion of the Director, the cost of repairing the damage exceeds 100% of the building's or structure's assessed value on the last revised assessment roll, the building or structure must not be repaired or rebuilt except in conformity with the requirements of this by-law.
- 150(4) Where a building or structure does not comply with the bulk requirements specified in the relevant sector regulations, the building or structure must not be expanded or enlarged unless the expansion or enlargement complies with the relevant sector regulations.
- 150(5) A sign that was lawfully in existence on the date that this by-law comes into force that does not comply with the sign requirements specified in the relevant sector regulations may continue to exist and be repaired, provided there is no increase in sign surface area or the degree of illumination of such sign, but may not be replaced once the sign and/or its structure has been removed. The copy of such sign may be changed provided such change does not constitute a change to the type of sign.

amended 100/2015

Repeal

- 160(1) Downtown Winnipeg Zoning By-law No. 4800/88, City of Winnipeg Zoning By-Law No. 6400/94, and all amendments thereto (whether such amendments were made by by-law, variance order, or conditional use order) are hereby repealed in respect of the real property covered by this By-Law. The area covered by this By-law is hereby deleted from the zoning maps set out in Appendix "A" to City of Winnipeg Zoning By-Law No. 6400/94, but that By-law continues in force and effect in respect of all other real property to which it applies.
- 160(2) Notwithstanding subsection 160(1), a variance order or conditional use order that contains one or more conditions is not repealed unless the condition or conditions relate only to the duration of the order or something to occur or be done before the order will come into effect, in which case the order is repealed unless the order provides otherwise.
- 160(3) Where on the effective date of that repeal an owner holds an approval under those repealed provisions but has not obtained a building permit for the approved use, building or structure, that approval, and the right to obtain a building permit in accordance with that approval, continues in effect for 365 days from that repeal date but shall then expire and no building permit may thereafter be issued on the basis of that approval and those repealed provisions.



Sector Map
By-Law No. 100/204

M Multiple-Use Sector
C Character Sector

D Downtown Living Sector
R Riverbank Sector



PART 2:

GENERAL PROVISIONS

Part 2: General Provisions

Land Use

- 200(1) Land Use in this by-law is regulated on the basis of Use Categories. The intent is to group uses with common functional or physical impact characteristics into broader categories. Use Categories organize a range of uses that are either permitted or conditional in Downtown Winnipeg. The uses listed under the Use Categories are inclusive, though an exhaustive list is not provided. See subsection 120(7).
amended 206/2005
- 200(2) In addition to this Part, which applies to all of Downtown Winnipeg, Parts 3 - 6 provide specific Land Use regulations applicable to each Downtown Winnipeg sector. The sector Land use component identifies which uses are permitted and conditional within that sector. No new use or expansion of an existing use of land may be established contrary to the Land Use regulations of the applicable sector. Uses identified as conditional are subject to scrutiny by the City of Winnipeg to determine that the proposed uses support the sector intent statement at their proposed locations and scales. A conditional use order must be granted prior to establishing a conditional use and is subject to the following:
- (a) a conditional use order expires if the use does not begin operation within 2 years of the date of approval unless otherwise specified in the terms of approval due to special conditions;
amended 100/2015
 - (b) a conditional use order expires if the use begins operations within 2 years of the date of approval but later ceases operations for 2 consecutive years unless otherwise specified in the terms of approval due to special conditions;
amended 100/2015
 - (c) a conditional use order may provide that the conditional use approval expires after a specified time; and
amended 100/2015
 - (d) unless otherwise provided in a conditional use order, all approved conditional uses must be operated in accordance with all plans and documents submitted as part of the application.
amended 100/2015
- 200(3) The Land Use component of the sector regulations may also limit the maximum size of each use onsite or the location of certain uses within the building. For the purposes of this by-law, maximum size refers to the floor area of each individual use; it does not limit the aggregate size of a number of uses operating on a property or within a building.

Prohibited Uses

200(4) Land uses incompatible with the vision of Downtown Winnipeg articulated in *OurWinnipeg, the Complete Communities Direction Strategy*, and other downtown policy are prohibited. Prohibited Uses must not be established and variances for Prohibited Uses must not be approved within Downtown Winnipeg. Prohibited Uses include:

amended 34/2014; 17/2018

- (a) those uses engaged in manufacture (other than from finished materials), including but not restricted to:
 - (i) Automobile, truck, farm implements, or heavy equipment manufacture;
 - (ii) Chemical, paint, petroleum manufacture or storage;
 - (iii) Concrete or asphalt batching plant;
 - (iv) Foundry;
 - (v) Smelting;
 - (vi) Wood distillation or processing.
- (b) those uses reliant on heavy truck traffic (unrestricted), reliant on exterior storage of materials, or of a land-intensive nature, including but not restricted to:
 - (i) Automobile, truck, farm implements, or heavy equipment storage compound;
 - (ii) Cemetery;
 - (iii) Freight station or haulage terminal;
 - (iv) Lumber yard, including outside storage;
 - (v) Public works yard, including outside storage;
 - (vi) Salvage or wrecking yard.
- (c) those uses that produce excessive noise, smell, dust, vibration, and other nuisances, including but not restricted to:
 - (i) Animal pound or kennel:

- (ii) Crematorium;
 - (iii) Exterminator;
 - (iv) Food processing;
 - (v) Gravel, sand, soil, or stone dealer;
 - (vi) Landfill, garbage incineration, or garbage transfer station;
 - (vii) Livestock feedlot;
 - (viii) Sewage treatment plant;
 - (ix) Stockyard, meatpacking, rendering, or slaughterhouse; and
amended 46/2022
 - (x) Cannabis production facility, designated.
added 46/2022
- (d) those uses that conflict with urban design objectives, including but not restricted to:
- (i) Advertising sign.
added 100/2015

Use Categories

200(5) In accordance with subsection 200(1), uses are organized into the following Use Categories:

- (a) Residential & Residential-related Uses
Residential Uses mean those primarily associated with living accommodations, including dwellings, residential care facilities, live/work, and boarding facilities. Does not include hostel or hotel.
- (b) Commercial Sales & Service Uses
Sales Uses mean those primarily associated with the sale, lease, or rent of new or used goods, which includes incidental sale of services and related office. Service Uses mean those primarily associated with the sale or provision of services.
- (c) Office Uses
Office Uses mean those characterized by activities conducted within an office setting, including call centre.

- (d) **Private Motor Vehicle-related Uses**
Private Motor Vehicle-related Uses mean those primarily associated with the sale, lease, rent, repair, storage, or movement of automobiles, light trucks, and motorcycles. Also includes fuel sales and drive-in/drive-through operations.
- (e) **Transportation, Utility, & Communications Uses**
Transportation Uses mean those primarily associated with train, bus, and boat uses. Utility Uses mean those primarily associated with providing electrical, heating, cooling, and similar utility services. Does not include public works yards, landfills, sewage treatment, and similar operations. Communications Uses mean those primarily associated with telecommunication facilities and infrastructure.
- (f) **Public & Institutional Uses**
Public Uses mean those primarily associated with public assembly, schooling and training, and government services-other than public utilities. Institutional Uses mean those primarily associated with private and non-profit congregation, research, worship, and services.
- (g) **Cultural & Entertainment Uses**
Cultural & Entertainment Uses mean those primarily associated with viewing of cultural materials or entertainment events.
- (h) **Park & Park-related Uses**
Park & Park-related Uses mean those focused on natural areas, outdoor recreation facilities and trails, outdoor urban agriculture and community gardens and squares.
amended 32/2021
- (i) **Light Industrial Uses**
Light Industrial Uses mean those primarily associated with the assembly or production of goods from finished materials, small-scale and low-impact manufacturing uses, indoor urban agriculture and warehousing. Operations are conducted completely within an enclosed building, with no exterior storage or exterior assembly/manufacturing. Distinct from Prohibited Uses which by their nature generate noise, odour, vibration, large truck traffic, and other functions detrimental to a vibrant, mixed-use downtown environment of those uses dependent on external storage of materials or goods.
amended 32/2021
- (j) **Restricted Uses**
Restricted Uses are those that have been singled-out for scrutiny due to their potentially objectionable operational characteristics and their potentially deleterious effects if concentrated within a small geographic area.

(k) Accessory Uses

Accessory Uses listed in this Use Category are those that can only be established when a permitted or conditional principal land use has been established, occupied, and maintained, unless otherwise provided for in another Use Category. These uses include accessory signs, parking, loading, and refuse storage.

Home Occupations

200(6) An office facility as a Home Occupation is permitted within a lawfully established dwelling in any sector. Any office facility lawfully established as a Home Occupation hereunder must be limited to paperwork and record keeping, which may include the taking of telephone and electronic orders.

200(7) An office facility as Home Occupation is subject to compliance with the following limitations:

- (a) any work or activity conducted on the premises in connection with the Home Occupation must be conducted entirely within the dwelling;
- (b) the Home Occupation must be conducted solely by one or more of the residents living in the dwelling on the premises, without the employment of any other person;
- (c) the location of the Home Occupation must not exceed a maximum floor area of 400 square feet, or 35% of the gross floor area of the dwelling unit, whichever is lesser, and no Home Occupation may be established, relocated, or enlarged until the person proposing to operate it has filed with the Director a floor plan signed by such person certifying the location and area of the space to be so used, relocated, or enlarged;
- (d) there must be no exterior indication of the existence or operation of the Home Occupation and, without limiting the generality of such prohibition, there must be no exterior display, no interior display visible from the outside, and no exterior storage of goods or materials associated with the Home Occupation, and the Home Occupation must not by reason of emission of odour, noise, vibration, or refuse matter be allowed to create a nuisance beyond the dwelling.

200(8) Notwithstanding subsections 200(6) and 200(7), an office facility as a Home Occupation relating to the following uses are prohibited in any sector:

- (a) body painting, body rub, or similar establishment;
- (b) dating bureau or similar establishment;

- (c) *repealed 34/2014;*
- (d) sensitivity awareness or similar establishment;
- (e) public bath, whirlpool bath, or similar establishment;
- (f) any establishment offering services or entertainment involving any entertainers, models, employees, waiters, waitresses, or other persons simulating sexual acts, exposing any area of genital organs, buttock, pubic area, or the female breast below the top of the areola, or exposing less than completely and opaquely covered genital organs, pubic area, buttock, or female breast below the top of the areola;
- (g) any vehicle towing operation;
- (h) any radio equipped messenger operation, taxi operation, hauling operation, moving operation, or any similar type of radio equipped operation;
- (i) any use involving the use of radio transmission equipment.

200(9) *deleted 106/2023*

Temporary or Special Event Uses

200(10) This by-law shall not apply to any temporary or special event activities such as a carnival, religious gathering, music festival or similar event having a duration of less than 7 days, provided a special event permit has been issued.
added 206/2005; amended 34/2014

Communication Facility

200(11) A communication facility is a permitted use in all sectors if it complies with the Communication Facility Protocol adopted by Council.
added 49/2010

Beekeeping Yards

200(12) A Beekeeping Yard is a permitted accessory use in any sector, subject to compliance with the following standards:

- (a) the maximum number of beehives which may be permitted on a zoning lot is 4, in addition to 1 nucleus hive;
- (b) beehives must be located within an area surrounded by a fence at least 6 feet in height which is secured with a gate; and

- (c) beehives must be set back 20 feet from any fence, unless the fence:
 - (i) is a solid opaque fence, or
 - (ii) includes a hedge or other vegetative obstruction which is at least 5 feet in height and which covers the entire length of the fence.
added 15/2016 (entire subsection 200(12))

200(13) Beehives located on rooftops or elevated terraces, decks or balconies which are at least 8 feet above grade are exempt from the requirements under clauses 200(12)(b) and 200(12)(c).
added 15/2016

Bulk

210(1) Bulk of buildings and structures is regulated in this by-law on the basis of floor area ratio, height, yards, and Residential Uses yards. Bulk regulations are provided in order to support, enhance, or achieve built forms and patterns articulated in OurWinnipeg, the Complete Communities Direction Strategy, and other Council endorsed policies. No building or structure may be developed or enlarged that does not comply with the Bulk regulations established in this part and in Parts 3 - 6.
amended 34/2014

210(2) In addition to this Part, Parts 3 - 6 provide specific Bulk regulations applicable to each Downtown Winnipeg sector.

210(3) All buildings and must comply with the maximum floor area ratio for the sector in which the building is located.
amended 206/2005; 17/2018

210(4) All buildings and structures must comply with the maximum height articulated in the applicable sector. Provided they do not contain habitable space, the following structures are exempt from height limitations;

- (a) rooftop mechanical structures housing elevators, stairwells, heating/ventilation/air conditioning equipment, water systems, fire equipment, or similar building mechanical systems;
- (b) parapet walls;
- (c) spires or steeples;
- (d) chimneys, skylights, or flagpoles;
- (e) telecommunications antennae.

- 210(5) All buildings and structures must comply with the minimum and maximum yards articulated in the applicable sector.

Residential Uses Yards

- 210(6) For all Residential uses, a 10 foot interior side yard must be provided for the portion of the building containing such uses, to a maximum height of 50 feet. Above 50 feet, a 20 foot interior side yard must be provided for the portion of the building containing such uses. These yard must also be provided when a building or structure containing non-residential uses is established on a lot that abuts a lot already containing Residential Uses.

amended 206/2005; amended 34/2014

- 210(7) Notwithstanding subsection 210(6), no interior side yard is required when no windows, doors, or other openings (not including fire escape) are provided in the wall facing the adjacent property and in the adjacent property wall.

amended 206/2005

- 210(8) For all Residential Uses, unless otherwise required in the applicable sector Bulk regulations, no minimum front or corner side yards are required.

- 210(9) For all Residential Uses, a 20 foot rear yard must be provided; such yard need not extend below the lowest storey containing such Residential Uses. This yard must also be provided when a building or structure containing non-residential uses is established on a lot that abuts a lot already containing Residential Uses.

- 210(9.1) Despite subsections (6) and (9), where an existing building or portion thereof is being converted to a residential use, no side yard or rear yard is required in respect of that portion of the building being so converted.

added 26/2024

- 210(10) Notwithstanding subsection 210(9), the 20 foot rear yard for the portion of the building containing Residential Uses within the first 50 feet in height may be calculated from the rear wall of the building to the mid-point of an existing public road or lane right-of-way.

amended 34/2014

- 210(11) Permitted projections and obstructions into required minimum Residential Uses yards include:

- (a) open terraces, landings, and steps (maximum 4 foot height);
- (b) open walkways and wheelchair ramps;
- (c) open patios (maximum 4 foot height);

- (d) wing-walls, porte cocheres, eaves (including troughs and downspouts), and awnings;
 - (e) open recreational equipment, including private swimming pools and tennis courts;
amended 100/2015
 - (f) open garbage enclosures, loading areas, and parking areas;
 - (g) open fire escapes (maximum 5 foot depth);
 - (h) alcoves and vestibules (maximum 5 foot depth);
amended 34/2014
 - (i) landscape features (including trees/shrubs, benchers, reflection pools) and fences/hedges (maximum 6.5 foot height).
amended 100/2015
- 210(12) In addition to the specific Bulk regulations-floor area ratio, height, yards, and Residential Uses yards - each Downtown Winnipeg sector may provide supplemental Bulk guidelines. Unlike Bulk regulations, Bulk guidelines are optional but they shall be encouraged to be met in the urban design review process for all new developments, redevelopments, and expansions.
- 210(13) In accordance with the *Public Works Act* (section 7), properties located within the area bound by the centre line of St. Mary Avenue, Carlton Street (and the extension thereof), the Assiniboine River, and Colony Street (and the extension thereof) must comply with the restriction on building heights in the vicinity of the Legislative Building. See "Building Height Control Area: Legislative Core - Winnipeg" map in Part 8: Zoning Maps.
- 210(14) Where an owner requests a variance order from the provisions of this By-law, the person or body with the authority to approve a variance must not grant a variance order unless in the opinion of the person or body, the provisions of this By-law have an injurious effect on the owner's property. For purposes of this determination, injurious effects includes physical characteristics of the owner's site that make it difficult or impossible to comply with the provisions of this By-law, but does not include conditions created by the owner or conditions generally shared with other properties in the same area.
added 100/2015
- 210(15) A variance order expires if the variance is not established within 2 years of the date of approval unless otherwise specified in the terms of approval due to special conditions.
added 100/2015

By-law No. 100/2004

210(16) A variance order may provide that the variance approval expires after a specified time.

added 100/2015

210(17) A variance order is applicable only to the design submitted as part of the application.

added 100/2015

Signs

220(1) Signs are regulated in this by-law on the basis of sign type, form, location, and size. Sign regulations are provided in order to ensure visibility of buildings and establishments within a downtown setting, as well as to enable orientation. No sign may be developed or erected that does not comply with the Sign regulations established in this part and in Parts 3 - 6.

220(2) Sign types distinguish the type of message a sign conveys. Sign types accommodated in this by-law are as follows:

- (a) Use Identification;
- (b) Building Identification;
- (c) Event;
- (d) Directional;
- (e) Parking Instruction.

220(3) Sign forms distinguish the physical form that characterizes a sign. Sign forms accommodated in this by-law are as follows:

- (a) Attached: fascia, projecting, awning, canopy, marquee, projection;
amended 34/2014
- (b) Free-standing: podium, ground-oriented, roof.
amended 34/2014

Any sign forms may be digital unless indicated otherwise in the sign regulation tables in Parts 3, 4, 5 and 6.

added 34/2014

220(3.1) Digital signs must adhere to the following operational standards:

- (a) must not exceed a brightness level of 0.3 foot-candles above ambient light conditions;
- (b) must utilize automatic dimming;

- (c) must not use any stroboscopic or high intensity flash effect; and
 - (d) any other conditions of approval set out through Urban Design Review.
added entire section 34/2014
- 220(3.2) Digital signs are prohibited on any building which, under the Historical Resources By-law, is on the List of Historical Resources or is nominated.
added 34/2014; amended 67/2014
- 220(4) In addition to this Part, Parts 3 - 6 provide specific Sign regulations applicable to each Downtown Winnipeg sector.
- 220(5) No control device may be established or erected that obstructs or imitates any traffic control device.
amended 34/2014
- 220(6) No sign may be established or erected unless it is accessory to an approved principal use (or uses).
- 220(7) Only signs visible from public rights-of-way and the rivers are regulated by this by-law. All such signs are subject to urban design review. See section 250, Urban Design.
- 220(8) Notwithstanding subsection 220(7), all new signs located within the designated Weather Protected Walkway System are subject to urban design review. Such urban design review does not apply to new sign copy or new panel within an existing sign structure or to new fascia sign form within the designated Weather Protected Walkway System. See section 250, Urban Design.
- 220(9) Notwithstanding subsection 220(6), the following signs are not regulated by this by-law:
 - (a) any sign, signal, or device installed by, required by, or authorized by the City of Winnipeg;
 - (b) any sign required to be maintained by law or government order, rule, or regulation;
 - (c) election signs, provided they are removed no later than 7 days following the election date to which they refer;
 - (d) real estate signs, provided they are not illuminated and do not exceed: maximum 40 square feet, maximum 1 sign per public road frontage, and maximum height of 25 feet or building wall height;

- (e) construction signs installed during construction activity on site, provided they are not illuminated and do not exceed: maximum 200 square feet, maximum 1 sign per public road frontage, and maximum height of 25 feet or building wall height;
amended 34/2014
 - (f) temporary signs, provided they do not exceed: maximum 40 square feet, are related to civic, non-commercial health, safety, or welfare campaigns or to campaigns by educational or religious organizations, are not erected earlier than the official date of the campaign commencement, and are removed immediately following the campaign culmination;
 - (g) memorial stones, commemorative plaques, or cornerstones;
 - (h) window signs covering less than 50% of the area of a glazed surface (calculated between mullions).
amended 34/2014
- 220(10) With the exception of those signs identified under clauses 220(9)(d) and (e), all sign types and forms may be illuminated.
- 220(11) Sign area will be calculated on the basis of the following:
- (a) where the sign is attached, painted, or otherwise applied to the wall of a building or structure, including separate elements individually attached to such wall or bas-relief, the area of the sign is the entire area of the smallest rectangle which can be construed to encompass the extreme limits of any colour, lettering, or other illustration;
 - (b) where the sign is a separate structure, the area of the sign is the entire area of the structure exhibited or intended for display irrespective of the limits of any colour, lettering, or other illustration;
 - (c) where the sign has more than one face exhibited or intended for display, the area of the sign is the total area of all such faces exhibited or intended for display, provided that where two such faces are exactly parallel and not more than 1 foot apart, the area of the sign is the entire area of the larger of such faces.
- 220(12) Sign volume will be calculated per frontage foot separately for each facade of the building. The per-frontage allocation cannot be combined between facades, and can only be transferred from one facade of a building to a facade without frontage.
added 34/2014

Parking

230(1) Although parking facilities are not required to be provided in conjunction with new development or redevelopment, parking is considered a Land Use in this by-law in accordance with the following:

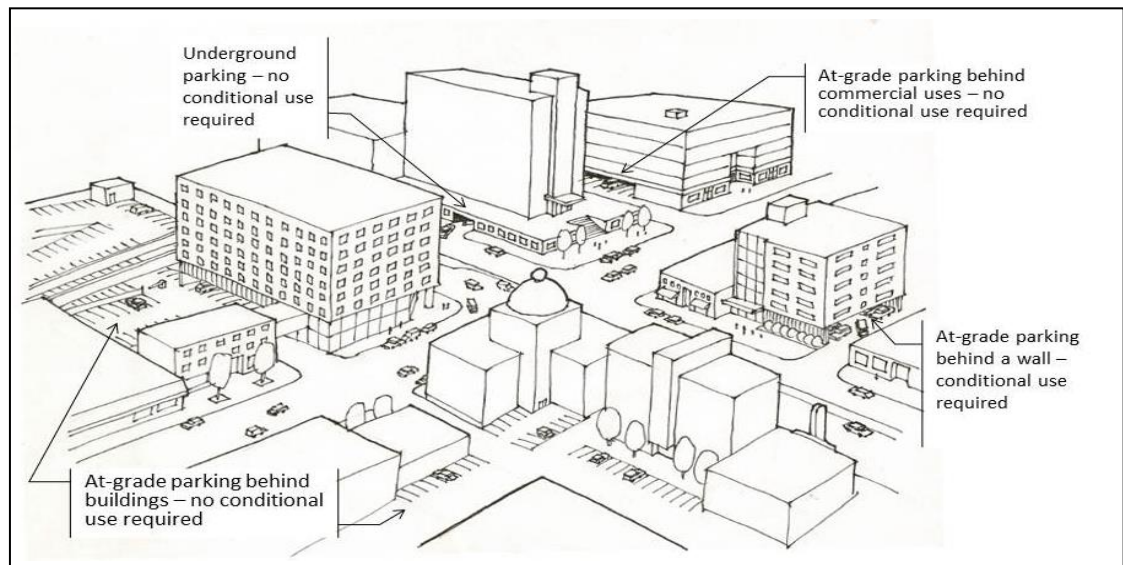
- (a) accessory offstreet parking facilities - are those provided in conjunction with a use or uses on the property;
- (b) non-accessory offstreet parking facilities - are those not provided in conjunction with a use or uses on the same property;
- (c) at-grade offstreet parking facilities - are distinguished from those provided above-and below-grade.

230(1.5) At-grade accessory parking facilities are conditional on certain streets and are limited by lot area elsewhere in order to ensure active street edges. At-grade parking facilities do not require a conditional use when:

added 100/2015

- (a) exterior parking is behind a building or wrapped by a building so that it is not visible from a public right-of-way (other than back lanes);
- (b) enclosed parking is separated from public right-of-ways (other than back lanes) by other land uses, such as residential or commercial space.

added 100/2015



added 100/2015

230(2) In addition, this by-law regulates voluntarily provided parking facilities on the basis of parking development standards. No offstreet parking facility may be developed or enlarged that does not comply with the Parking regulations established in this part or in Parts 3 - 6.

230(3) Offstreet parking facilities must be developed and maintained in accordance with the following development standards:

(a) dimensions and proportions of parking spaces, aisles, and driveways:
amended 34/2014

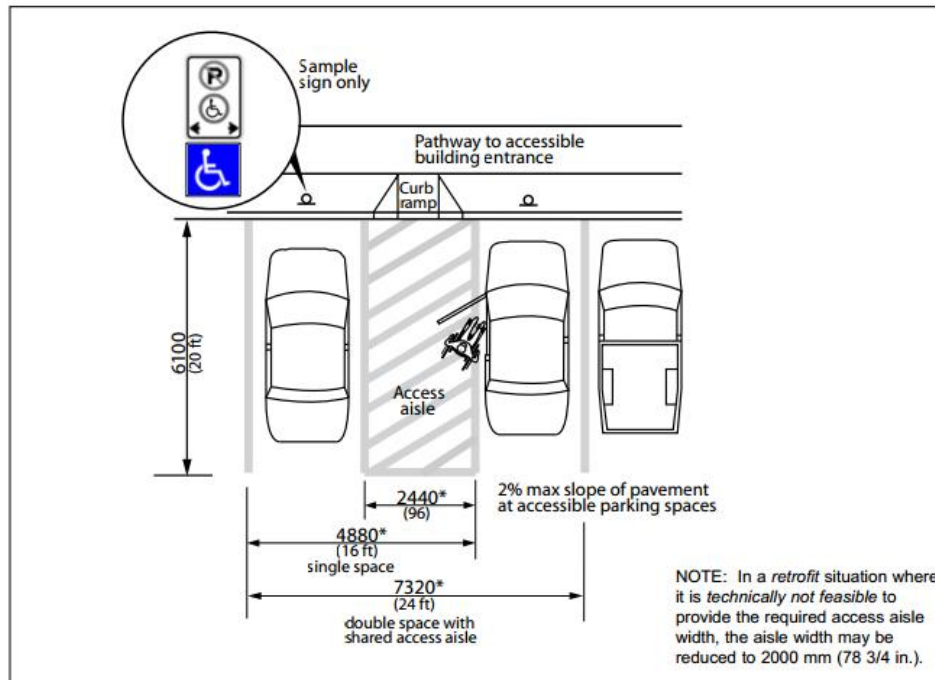
Aisles and Driveways minimum dimensions			
One-way aisle	Two-way aisle	One-way Driveway	Two-way Driveway
Less than 50 degree angle: 12 feet wide	20 feet wide	8 feet wide (may be shared with loading driveway)	16 feet wide (may be shared with loading driveway)
50 to 74 degree angle: 18 feet wide			
75 to 90 degree angle: 20 feet wide			
Parking Space minimum dimensions			
Standard space	Accessible space*	Van Accessible space*	Small Car space**
8 feet wide*** 18 feet long 160 square feet in area 7 feet high	10 feet wide 20 feet long 7 feet high	8 + 8 feet wide**** 20 feet long 8 feet high	8 feet wide 14 feet long 128 square feet in area 7 feet high
Minimum number of Accessible and Van Accessible spaces based on number of Standard spaces			
Total spaces provided <i>(quantities listed include the number of Accessible and Van Accessible spaces)</i>	Accessible spaces*	Van Accessible spaces*	
2-25	1	0	
26-50	2	1	
51-75	3	1	
76-100	3	2	
101-150	4	2	
151-200	5	2	
201-300	6	2	
301-400	6	3	
401-500	7	3	
501-1000	2% of total	4	
* - must include signage reserving the space for use by persons with disabilities			

** - not exceeding 30% of the total number of spaces provided

*** - width must be increased to 10 feet if long dimension is immediately adjacent to a fence, wall or column

**** - 8 foot wide space with an adjacent 8 foot wide wheelchair loading and maneuvering space that may be shared with an adjacent van accessible space as illustrated below.

amended 34/2014; 100/2015; 17/2018



added 34/2014

(b) access and egress:

- (i) access to public roads from offstreet parking facilities and egress from offstreet parking facilities must be via parking driveways.
- (ii) offstreet parking facilities must provide a universally accessible route from any accessible parking space to an accessible building entrance or public sidewalk.

added 34/2014

(c) surfacing and drainage:

- (i) parking spaces, aisles, and driveways must be paved in asphalt, concrete, concrete pavers, or combination;

- (ii) offstreet parking facilities must be provided with a drainage system to ensure rainwater or snow melt does not collect at surface onsite, flow onto adjacent properties, or onto public sidewalks;

(d) screening:

- (i) screening of parking facilities must be provided where parking spaces are adjacent to public road frontages (excluding lanes), or where such facilities abut residential uses at grade;
amended 34/2014
- (ii) screening must be comprised of a minimum 3 foot high building wall, fence, or a combination of fencing and hedges;
amended 34/2014; 100/2015
- (iii) all parking lot fencing must be of brick or decorative metal construction or combination of both;
amended 100/2015
- (iv) screening must be a lightproof fence where parking spaces or drive aisles are oriented towards an adjacent residential use.
added 100/2015

(e) *repealed 34/2014*

(f) lighting:

- (i) site lighting shall be designed and installed to maintain adequate lighting on site and provide security for people and property through the use of fixtures that are durable and energy efficient, while preventing glare beyond the property line;
amended 34/2014
- (ii) wall-mounted lights must have fully shielded luminaires to direct all light downward;
amended 34/2014
- (iii) no owner may install or maintain a light source that is directed outward toward property boundaries or adjacent rights-of-way;
added 34/2014
- (iv) lighting must be directed downward except for low-voltage architectural, landscape and decorative lighting;
added 34/2014

- (v) light fixtures must be located to provide a relatively uniform level of lighting and to avoid extreme contrasts between levels of lighting, except as necessary to prevent glare onto adjacent properties;
added 34/2014
- (vi) the maximum permitted height of light fixtures is 35 feet.
added 34/2014
- (g) landscaping:
 - (i) a landscaping plan must be submitted but may be combined with other required application materials if compliance with this section can be clearly demonstrated in the combined materials;
 - (ii) plant material must be able to withstand local climatic conditions, must be No. 1 Grade Nursery Stock, supplied and installed in conformance with the latest edition of Canadian Nursery Landscape Association "Canadian Standards for Nursery Stock" and if located within 20 feet of a public street, must be of a salt-tolerant species;
 - (iii) deciduous trees shall be of minimum 2½ inch caliper, and of species that normally have lower branches at least 6 feet above grade at maturity;
 - (iv) planting medium for all trees must be a minimum of 300 cubic feet in volume and 30 inches in depth, with a minimum radius of 3 feet from the trunk of the tree;
amended 17/2018
 - (vi) all shrubs shall be minimum 2 gallon container size, and of species that can remain healthy when trimmed so as to maintain a height of not more than 30 inches at maturity;
 - (vii) surface parking areas adjacent to a public street must contain a minimum of one deciduous tree for each 20 feet of linear street frontage; lot frontage areas occupied by curb cuts or driveways must be included when calculating linear frontage planting requirements, and any trees that would otherwise be required in such areas must be planted in remaining lot frontage areas unless prohibited by minimum spacing requirements for the species being used;

- (viii) installation of required landscaping and buffering is required before the parking area is open for use unless climate or weather conditions make installation impractical; where, due to climate or weather conditions, it is impractical to install required landscaping before construction on the principal building has been completed, the Director may authorize a delay in installation until no later than the following June 30;
- (ix) the owner must maintain all landscaping and buffering areas required by this By-law free from refuse and debris and with a neat appearance, and must maintain plant materials, including lawns and naturalized landscaping, in a healthy growing condition; the owner must replace any plant material required by this section that dies or becomes diseased;
- (x) the owner must maintain street edge landscaping and parking lot interior landscaping between a height of 30 inches and a height of 6 feet above grade to preserve sightlines between public streets and adjacent properties;
- (xi) the owner must maintain each required landscape or buffer area with adequate drainage in order to provide appropriate conditions for plant growth and to prevent the accumulation of standing water, and must maintain drainage features free of refuse and debris so as to allow water to drain freely;
- (xii) the owner must maintain all landscaping to avoid encroachment onto pedestrian walkways and to maintain a minimum clear distance of 9 feet above all pedestrian walkways.

added entire section 34/2014

230(4) In addition to this Part, Parts 3 - 6 provide specific Parking regulations applicable to each Downtown Winnipeg sector.

230(5) Offstreet parking facilities are subject to urban design review if visible from a public right-of-way or river. See section 250, Urban Design.

Loading

240(1) Loading is considered a Land Use in this by-law in accordance with the following:

- (a) accessory offstreet loading facilities - are those provided in conjunction with a use or uses on the same property;
- (b) non-accessory offstreet loading facilities - are those not provided in conjunction with a use or uses on the same property, including where the offstreet loading facility is located on an adjacent property;

- (c) onstreet loading facilities - are those provided on an adjacent public right-of-way; onstreet loading facilities are not considered a Land use but may be factored into deliberations when loading space provision is the subject of a variance application.
- 240(2) In addition, Loading in this by-law is regulated on the basis of required loading space-to-use ratios, types of loading spaces, and loading space development standards. No use may be established that does not provide the required types of loading spaces or the numbers of loading spaces specified, and no loading space - whether required or voluntarily provided-may be developed or enlarged that does not comply with the Loading regulations established in this part of in Parts 3 - 6.
- 240(3) For the purposes of this by-law, loading spaces include the following types:
- (a) person & service loading spaces - are those provided for visitor drop-off/ pick-up and for building service vehicles;
- (b) delivery loading spaces - are those provided for materials/goods delivery vehicles.
- 240(4) Offstreet loading facilities must be developed and maintained in accordance with the following development standards:
- (a) dimensions of loading spaces, aisles, and driveways:

Loading Space	Persons & Service Space minimum	Delivery Space minimum
	8 foot wide X 20 foot long X 7 foot high; or 10 foot wide X 18 foot long X 7 foot high	12 foot wide X 20 foot long X 12 foot high
Loading Aisle	Minimum 12 foot wide	
Loading Driveway*	Maximum 20 foot wide	
* - loading driveway may be shared with parking driveway		

- (b) access and egress:
- (i) access to public roads from loading facilities and egress from loading facilities to public roads must be via driveways;
- (ii) driveways may be shared to provide access to/egress from loading and parking facilities;
- (c) surfacing and drainage:

- (i) loading spaces, aisles, and driveways must be paved in asphalt, concrete, concrete pavers, or combination;
 - (ii) loading facilities must be provided with a drainage system to ensure rainwater or snow melt does not collect at surface onsite, flow onto adjacent properties, or flow onto or across public sidewalks;
- (d) screening:
 - (i) screening of loading facilities and garbage receptacle/storage areas must be provided where such facilities or areas are adjacent to public road frontages or where such facilities abut residential uses that are located at grade;
amended 17/2018
 - (ii) where garbage receptacle/storage areas are provided in accordance with clause (i), such facilities or areas must be screened with a minimum 5 foot high lightproof building wall, fence, or combination;
amended 17/2018
- (e) separation from public sidewalks and adjacent properties:
 - (i) in order to contain motor vehicles within offstreet loading facilities (except at designated entrances and exits), protect pedestrians on adjacent public sidewalks, and prevent protrusion of person & service and delivery loading vehicles onto adjacent properties, containment measures must be provided;
 - (ii) containment measures, where loading spaces are provided adjacent to public road frontages or adjacent properties, must be provided in the form of a minimum 2.5 foot high building wall or fence, or other solution subject to Urban Design Review approval;
amended 17/2018
- (f) lighting:
 - (i) in order to enhance safety and security, loading facilities must provide lighting;
 - (ii) such lighting must be directed and shielded so that it does not shine or reflect onto residential properties.

- 240(5) Loading facilities are required only for new building developments, expansions of existing buildings, and Substantial Adaptive Reuse developments. Where floor area must be calculated to determine the required number of loadings spaces, the calculation will be based on the floor area of each building or structure but the calculation will not include any area used for interior parking or loading, interior aisles or driveways providing access to parking or loading facilities, or for mechanical equipment or systems.

amended 206/2005; 17/2018

- 240(6) Loading facilities are required where the following uses are established:

USE	PERSON & SERVICE LOADING SPACE MINIMUM	DELIVERY LOADING SPACE MINIMUM
Office	1 square foot to 40,000 square feet: 0 spaces	1 square foot to 40,000 square feet: 0 spaces
	40,001 square feet to 100,000 square feet: 0 spaces	40,001 square feet to 100,000 square feet: 1 space
	100,001 square feet and up: 1 space for every 100,000 square feet or fraction thereof	100,001 square feet and up: 1 space for every 100,000 square feet or fraction thereof
Dwelling / live-work unit / care or rehabilitation facility	1 to 50 dwelling units/live-work units/care or rehab beds: 0 spaces;	1 to 50 dwelling units/live-work units/care or rehab beds: 0 spaces
	51 and above: 1 space for every 100 dwelling units/live-work units/care or rehab beds or fraction thereof	51 and above: 1 space for every 100 dwelling units/live-work units/care or rehab beds or fraction thereof
Hotel	1 to 50 rooms/suites: 0 spaces	1 to 50 rooms/suites: 1 space;
	51 and above: 1 space for every 100 rooms/suites or fraction thereof	51 and above: 1 space for every 100 rooms/suites or fraction thereof
Retail sales / personal service	1 square foot to 20,000 square feet: 0 spaces;	1 square foot to 20,000 square feet: 0 spaces;
	20,001 square feet and above: 1 space for every 40,000 square feet or fraction thereof	20,001 square feet and above: 1 space for every 20,000 square feet or fraction thereof
Restaurant / drinking establishment	0 spaces	1 square foot to 20,000 square feet: 0 spaces;
		20,001 and above: 1 space
School	1 square foot to 20,000 square feet: 0 spaces;	1 square foot to 40,000 square feet: 0 spaces
	20,001 and above: 1 space for every 20,000 square feet or fraction thereof	40,001 and above: 1 space for every 40,000 square feet or fraction thereof
Hospital	2 spaces	1 space for every 40,000 square feet or fraction thereof
Bus depot / train station	2 spaces	1 space for every 40,000 square feet or fraction thereof
Light industrial, not including	0 spaces	1 square foot to 20,000 square feet: 0 spaces;
		20,001 square feet and above:

warehouse		1 space for every 40,000 square feet or fraction thereof
Warehouse	0 spaces	1 space for every 40,000 square feet or fraction thereof

amended 17/2018

240(7) In addition to this Part, Parts 3 - 6 may provide specific Loading regulations applicable to each Downtown Winnipeg sector.

240(8) Loading facilities are subject to urban design review if visible from a public right-of-way or river. See section 250, Urban Design.

Urban Design

Urban Design Review Requirements

250(1) All Downtown Winnipeg development, redevelopment, expansion, demolition, or exterior alteration including signs and murals visible from public rights-of-way or rivers is subject to urban design review and must be approved by the Director prior to commencement. Urban design approval is required whether or not the proposal requires a building permit, development permit, variance order, conditional use order, or other approval.

amended 34/2014

250(2) Notwithstanding subsection 250(1), temporary structures (for events not exceeding 14 days) do not require urban design review and approval.

250(3) In addition to 250(1), and in accordance with subsection 100(6), urban design approval is required for development within public roads, public lanes, public walkways, rivers, and public rights-of-way.

250(4) Notwithstanding subsection 250(1), interior building elements will be considered in urban design review when their arrangement impacts on exterior pedestrian circulation and safety aspects.

250(5) Notwithstanding subsections 100(6) and 250(1), interior building elements within the designated Weather Protected Walkway System will be subject to urban design review, unless they are installed by, required by, or authorized by the City of Winnipeg in accordance with subsection 220(9). Urban design review within the designated Weather Protected Walkway System will focus on ensuring universal access, visibility, and orientation through the walkway system are maintained. See "Designated Weather Protected Walkway System" map in Appendices.

Urban Design Application and Supporting Materials

250(6) Development application requirements are specified under Administration (section 110). To enhance urban design review, the Director may require applicants to submit additional information to illustrate the context of a proposed development.

250(7) Proposals for new buildings and additions must consider adverse wind conditions that may result from the construction of the building or addition during the initial proposal planning stages. Applications for new buildings and additions will be reviewed for wind impacts on the pedestrian environment, as part of the urban design review process. In order to assist this Wind Impact review, the Director requires the following information:

- (a) for all new buildings and additions, a Wind Impact Statement (prepared by a professional engineer), which details measures undertaken to minimize the wind impacts of the proposed building or addition on the pedestrian environment;
- (b) for any new buildings or additions that exceed 150 feet in height or the height of buildings on adjacent properties by 100 feet or more, a Wind Impact Study (prepared by a professional engineer), based on a scale model simulation analysis that includes the following information;
amended 34/2014
 - (i) an estimate of the distribution of wind speeds which can be anticipated to occur on a weekly and monthly basis for the entire year for all adjacent public and private pedestrian-level open spaces including public streets;
 - (ii) a comparison of the estimated distribution of wind speeds with acceptable wind comfort criteria, and the frequency and extent to which such criteria are exceeded;
 - (iii) a description of the alterations to the building or enlargement which may be expected to reduce wind speeds, and a description of any such alterations which have been analyzed along with the results of such analysis.

Urban Design Considerations

250(8) Review of development, redevelopment, expansion, demolition, or exterior alteration proposals is primarily intended to ensure the thoughtful integration of such proposals into their local context and consistency with the standards articulated in OurWinnipeg, the Complete Communities Direction Strategy and CentrePlan. For the purposes of this by-law, urban design review will focus on the quality of the public environment and be predicated on the understanding that the quality of that environment is formed as a result of many independent creative decisions.

amended 34/2014

250(9) The Key Considerations form the bases of urban design review in Downtown Winnipeg, as follows:

- (a) they are provided to assist property owners, design professionals, administrators, decision-makers, advisory committee members, and other parties involved in preparing, reviewing, or approving new developments, redevelopments, expansions, and exterior alterations;
- (b) they provide a bridge between current downtown policy desires and any detailed urban design guidelines, standards, or criteria that may be generated for specific downtown sectors (or portions thereof) and which would then supplant the Key Considerations;
- (c) they are not intended to stifle or discourage creativity; instead, they provide a framework within which to exercise creative design approaches.

250(10) The Key Considerations are as follows:

amended 206/2005

(a) Building Placement:

- (i) in general, buildings are expected to provide minimal setbacks to public road rights-of-way (front and corner side yards);
amended 34/2014
- (ii) building setbacks for Active uses (e.g. sidewalk cafés, newsstands, retailer displays) can be accommodated;
- (iii) building setbacks to hotel, Public & Institutional, and Cultural & Entertainment uses can be accommodated;
- (iv) where residential uses are located at street level, building setbacks are encouraged (front and corner side yards)
- (v) where a consistent building alignment exists along a block, buildings are expected to respect this alignment (front and corner side yards);
- (vi) rear and interior side yards are not generally a concern, though in areas typified by a continuous block face (e.g. Exchange District), infill is expected to respect this form.

(b) Facade treatment & Building Entrances:

- (i) open and inviting building facades are encouraged at street level and 2nd storey, in order to enhance the convenience, comfort, and enjoyment of pedestrian experiences and enhance interactions between the public realm and business operations on private property;
amended 206/2005; 34/2014

- (ii) long, undifferentiated blank walls located at street level and along public roads are discouraged; Instead, they should be enhanced by combinations of transparent windows (not reflective or spandrel), window displays, Active Uses, vertical architectural features (e.g. columns, bays, fenestration, pilasters), and contrasting building materials/textures/colours/shades;
 - (iii) opaque window signs, storage of materials blocking windows, permanently closed blinds, and other measures or operations that hamper transparent street level pedestrian/business interactions are discouraged;
 - (iv) direct access to retailers, service providers, and customer service areas from street level is encouraged;
 - (v) multiple entrances from street level to large developments are encouraged;
 - (vi) measures to enhance visibility and accessibility of building entrances (e.g. setbacks or projections from building wall, architectural features, contrasting materials, ornamentation) are encouraged.
- (c) Driveways & Building Services:
- (i) in order to encourage an uninterrupted pedestrian boulevard, numbers and dimensions of motor vehicle driveways, private approaches, and other intrusions into the boulevard should be minimized;
 - (ii) access to offstreet parking facilities, delivery loading spaces, refuse storage areas, and other building services is encouraged to be via public lane (or from secondary street, when public lane is not available);
 - (iii) offstreet parking facilities, delivery loading spaces, refuse storage areas, and other building services are encouraged to be located internal to buildings;
 - (iv) offstreet parking facilities, delivery loading spaces, refuse storage areas, and other building services located adjacent to public roads and residential uses are encouraged to be screened via landscaping, fencing, building wingwalls, or combinations, ensuring pedestrian access and motor vehicle sight lines are maintained;
 - (v) offstreet parking facilities, delivery loading spaces, refuse storage areas, and other building services located between building walls and public roads are discouraged.

(d) Signs:

- (i) signs are expected to enhance visibility-helpful in identifying a building or use; legible, clear, ordered copy/logo/symbol; visible primarily to pedestrians (traveling at less than 10 km/h), secondarily to motorists (traveling at more than 50 km/h); not obscuring neighbouring signs; not limiting individual tenant opportunities at multiple-tenant sites;
- (ii) signs are expected to enable orientation-helpful in finding a building or use, from a distance or up close;
- (iii) signs cannot negatively impact personal safety or motor vehicle safety-located and anchored safely and out of the way of pedestrians; not obscuring or mimicking traffic signs/signals;
- (iv) signs are expected to respect historic areas and important sites; protect valued views and vistas; and complement other notable downtown features.
- (v) signs are expected to be of a high quality, well integrated with the character of the building or site; other forms such as fascia-mounted banners would be considered for temporary signage only, primarily for events, for new developments or redevelopments.
added 34/2014

(e) Vacant Land:

- (i) demolition without plans for new development may be approved provided the vacant lot will be compatible with the area and will not create pressures for surface parking on the site;
- (ii) if demolition is approved, the site must be improved in accordance with the conditions of Urban Design Review immediately following demolition;
- (iii) minimum improvements should include the site being leveled and sodded, any private approaches removed, with the curb and sidewalk restored, and fencing installed as necessary to prevent vehicular access.
added entire subsection 34/2014

250(11) The Standing Policy Committee on Property and Development may approve urban design guidelines, standards or criteria, not inconsistent with the Key Considerations, which are to be considered in urban design review of development proposals.
amended 48/2011; 106/2015; 137/2022

Urban Design Review Process

250(12) The Standing Policy Committee on Property and Development may appoint an advisory committee (or committees) for the purpose of providing recommendations to the Director regarding:

amended 137/2022

(a) whether or not to grant urban design approval for a particular development, redevelopment, expansion, demolition, or exterior alteration; and

(b) downtown urban design guidelines, standards, or criteria.

amended 48/2011; 106/2015

250(13) An advisory committee appointed under subsection 250(12) may establish its own procedures, subject to approval by the Standing Policy Committee on Property and Development

amended 230/2005; 48/2011; 106/2015; 137/2022

250(14) The Director may not deny an urban design review application without first giving the applicant notice of the date, time, and location of a meeting to hear representation from the applicant concerning the application. If the applicant has not been so notified within 45 days of the urban design application being submitted in full, the applicant may submit a letter requesting such notification to the Standing Policy Committee on Property and Development. Upon receiving such letter, the Standing Policy Committee on Property and Development shall instruct the Director to approve or deny the urban design application within a specified period of time.

amended 48/2011; 106/2015; 137/2022

PART 3:

MULTIPLE-USE SECTOR

Part 3: Multiple-Use Sector

Intent

300 This sector is intended to encourage the range of uses, sites, activities, and buildings typical to a diverse and vibrant central business district. This sector demonstrates a diversity of uses, including: office, retail, services, restaurants, entertainment opportunities, public institutions, multiple-family residential, and mixed-use parking facilities. The built form is also diverse, ranging from high-rise towers at Portage & Main to more intimately-scaled buildings along Graham Avenue. Urban design review in the Multiple-Use Sector is intended to enhance pedestrian comfort and encourage high-quality built form.

amended 100/2015

Land Use

310(1) The following Land Use regulations are specific to the Multiple-use Sector. No new use or expansion of an existing use may be established except in compliance with the following regulations and with the Land Use portion (section 200) of the General Provisions.

310(2) Use Categories:

"P" – permitted use
"C" – conditional use
"A" – accessory use
"- " – not permitted use

USE CATEGORIES AND USES

RESIDENTIAL & RESIDENTIAL RELATED	
Dwelling	P*
Care home	P*
Neighbourhood care home	P*
Dormitory	P*
Single-room occupancy	P*
Short Term Rental Accommodation	P
Live-work unit	P**
* - conditional if located at-grade, abutting the following public roads: Main Street, Portage Avenue, Graham Avenue	
**- conditional if not directly accessible from street level or if exceeding 3000 square feet of floor area	

amended 34/2014; 106/2023

COMMERCIAL SALES & SERVICE	
Retail sales	P*
Wholesale sales	P*
Personal services	P*
Business support services	P*
Medical/dental/optical/counselling clinic	P*
Veterinary, not including kennel	P*
Bank/financial service	P*
Private club, not licensed	P*
Hostel	P
Hotel	P
Restaurant	P*
Drinking establishment	P*
Studio for artists/dancers/designers/musicians/photographers, including production from finished products	P*
Billiard hall, primarily participant	P*
* - conditional if located at ground level and not directly accessible from a public road	

amended 17/2018

OFFICE	
Office	P
Call centre	P

PRIVATE MOTOR VEHICLE-RELATED	
Auto/light truck/motorcycle rental & sales, entirely within enclosed building	P
Auto-light truck/motorcycle repair & service, entirely within enclosed building	C
Fuel sales	C
Drive-in, Drive-through	C
Parking, non-accessory offstreet at grade	C
Parking, non-accessory offstreet above/below grade	P

TRANSPORTATION, UTILITY, & COMMUNICATIONS	
Power station, electrical/heating/cooling/communications distribution facility	P
Bus depot	C
Train station	C
Commercial marina	P
Radio/television broadcast tower	P
Wireless communications tower — <i>amended 49/2010</i>	P
Loading, non-accessory	C

PUBLIC & INSTITUTIONAL	
Church/religious institution	P
School	P
Daycare	P
Community/recreation centre, primarily participant	P
Courthouse	P
Jail/detention centre	P
Neighbourhood rehabilitation home	C
Emergency residential shelter	P
Library	P
Hospital, including overnight accommodations	P
Protection & emergency services	P
Research institution	P

CULTURAL & ENTERTAINMENT	
Auditorium/concert hall/theatre/cinema	P
Convention centre/exhibition hall	P
Amusement establishment, indoor	P
Casino	P
Cultural centre	P
Gallery, primarily spectator	P
Museum	P
Sports & entertainment arena/stadium, primarily spectator	P
Studio, radio/TV/motion picture broadcast & production	P
Dance hall	P
Banquet hall	P

amended 206/2005

PARK & PARK-RELATED	
Park/plaza/square/playground, public access	P
Trail/walkway, public access	P
Boat dock, public access	P
Outdoor Urban Agriculture	P
Community Garden	P

amended 32/2021

LIGHT INDUSTRIAL	
Manufacture/assembly/repair/packaging of products from prepared materials, entirely within enclosed building	P
Warehouse, entirely within enclosed building	P
Printing/publishing	P
Commercial laundry/dry-cleaning plant	C
Craft brewery/distillery/winery	C
Commercial bakery	C
Recycling centre	C
Indoor Urban Agriculture	P*

*Conditional if property is located at grade
amended 17/2018

RESTRICTED	
Adult entertainment	C
X-rated store	C
Dating & escort service	C
Body rub parlour	C
Pawnshop	C

amended 34/2014

ACCESSORY	
Parking offstreet at-grade*, to all uses	A
Parking off street above/below grade, to all uses	A
Loading, to all uses	A
Refuse storage, to all uses	A
Sign, to all uses	A
Home occupation, to Dwelling	A
Parish hall, to Church	A
Micro-brewery/winery/distillery, to Restaurant	A
Bakery, to Restaurant and Grocery	A
Beekeeping Yard	A
Outdoor dining and drinking	A
Accessory building, structure or use	A

* - conditional if property is abutting Main Street, Portage Avenue or Graham Avenue, or if parking spaces and aisles exceed 10% of lot area, when adjacent to a public right-of-way. See subsection 230(1.5).

amended 206/2005; 34/2014; 100/2015; 15/2016; 17/2018; 26/2024

Bulk

320(1) The following Bulk regulations and guidelines are specific to the Multiple-Use Sector. No new building or structure, or expansion of an existing structure, may be developed or enlarged within this sector that does not comply with the following regulations and the Bulk portion (section 210) of the General Provisions. Subsection 320(2) provides for basic Bulk regulations for this sector and exceptions for properties abutting Portage Avenue, Main Street, and Broadway.

320(2) Bulk regulations:

MULTIPLE-USE SECTOR	GENERAL	PORTAGE AVENUE MAIN STREET PROPERTIES	BROADWAY PROPERTIES
Building Height Minimum†	25 feet	35 feet	35 feet
Building Height Maximum****	Not applicable	Not applicable	Not applicable
Floor Area Ratio Maximum	12	15	12
Front, Side, Corner Side Yards‡	Not applicable	Not applicable	12 feet front and corner side yard minimum***
Residential Uses Interior Side Yards Minimum*‡	10-50 feet in height: 10 feet	10-50 feet in height: 10 feet	10-50 feet in height: 10 feet
	above 50 feet in height: 20 feet	above 50 feet in height: 20 feet	above 50 feet in height: 20 feet
Residential Uses Rear Yards Minimum**‡	20 feet	20 feet	20 feet
<p>* - no interior side yard is required when no doors, windows, or other openings are provided in the wall facing the adjacent property and in the adjacent property wall (see section 210)</p> <p>** - for up to 50 feet in building height, 20 foot minimum rear yard may be calculated from the building wall to the mid-point of the public road or lane (see section 210)</p> <p>*** - front yard is not required for canopies; front yard is not required for exterior stairs, podiums, or seating areas less than 4 feet in height or signs less than 10 feet in height.</p> <p>**** - building heights may be limited by 'Building Height Control Area: Legislative Core – Winnipeg' Public Works Act restrictions [see subsection 210(13)]</p> <p>‡ - not applicable to all or part of an existing structure converting to a residential use, or to an accessory building, structure or use</p>			

amended 206/2005, 34/2014; 26/2024

320(3) Bulk Guidelines

Signs

330(1) The following Sign regulations are specific to the Multiple-Use Sector. No new sign or sign structure and no alteration to an existing sign or sign structure may be established or erected except in accordance with the following regulations and the Signs portion (section 2200 of the General Provisions. Subsection 330(2) provides for basic Sign regulations for this sector and exceptions for properties abutting Portage Avenue, Main Street, and Broadway.

330(2) Sign regulations:

(a)

USE IDENTIFICATION TYPE		BASIC	PORTAGE AVENUE AND MAIN STREET PROPERTIES	BROADWAY PROPERTIES
Total Sign Volume		4 square feet per frontage foot	5 square feet per frontage foot	2 square feet per frontage foot
Sign Form	Attached	All	All	All, except digital signs
	Free-standing	podium, ground-oriented	podium, ground-oriented	podium, ground-oriented, except digital signs
Sign Size Maximum		Not applicable	Not applicable	Not applicable
Sign Structure Height Maximum, Free-standing		4 feet	4 feet	4 feet
Sign Location Attached		Below 25 feet in height	Below 25 feet in height	Below 25 feet in height

amended 34/2014

(b)

BUILDING IDENTIFICATION TYPE		BASIC	PORTAGE AVENUE AND MAIN STREET PROPERTIES	BROADWAY PROPERTIES
Total Sign Volume		2% of building wall*	2% of building wall*	2% of building wall*
Sign Form	Attached	All, except digital signs	All, except digital signs	Fascia, projecting, marquee, except digital signs
	Free-standing	podium, ground-oriented, except digital signs	Podium, ground-oriented, except digital signs	podium, ground-oriented, except digital signs
Sign Size Maximum		Not applicable	Not applicable	Not applicable
Sign Structure Height Maximum, Free-standing		4 feet	4 feet	4 feet
Sign Location	Attached	1 sign per building wall maximum**	Not applicable	1 sign per building wall maximum**
	Free-standing	1 sign per public road frontage maximum	1 sign per public road frontage maximum	1 sign per public road frontage maximum
* - 64 square foot maximum sign size, when 2% of building wall calculation results in less than 64 square feet ** - does not apply to those signs located below 25 feet in height				

amended 206/2005; 34/2014

(c)

EVENT TYPE*		BASIC	PORTAGE AVENUE AND MAIN STREET PROPERTIES	BROADWAY PROPERTIES
Total Sign Volume		Not applicable	Not applicable	Not applicable
Sign Form	Attached	Fascia, projecting, marquee, projection	Fascia, projecting, marquee, projection	Fascia, projecting, marquee, except digital signs
	Free-standing	podium, ground-oriented,	podium, ground-oriented,	podium, ground-oriented, except digital signs
Sign Size Maximum		128 square feet	128 square feet	64 square feet
Sign Structure Height Maximum, Free-standing		4 feet	4 feet	4 feet
Sign Location	Attached	Below 25 feet in height	Not applicable	Below 25 feet in height
	Free-standing	1 sign per public road frontage maximum	2 signs per public road frontage maximum	1 sign per public road frontage maximum
* - can only be established in conjunction with "Cultural & Entertainment" uses				

amended 206/2005; 34/2014

(d)

DIRECTIONAL TYPE		BASIC
Total Sign Volume		Not applicable
Sign Form	Attached	All
	Free-standing	All
Sign Size Maximum		6 square feet per sign
Sign Structure Height Maximum, Free-standing		10 feet
Sign Location	Attached	Below 25 feet in height
	Free-standing	Not applicable

amended 34/2014

(e)

PARKING INSTRUCTIONS TYPE		BASIC
Total Sign Volume		Not applicable
Sign Form	Attached	All
	Free-standing	All
Sign Size Maximum		24 square feet per sign
Sign Structure Height Maximum, Free-standing		10 feet
Sign Location	Attached	Below 25 feet in height
	Free-standing	Set back from the public road right-of-way by a minimum distance equal to one half of the height of the sign

amended 34/2014; 17/2018

Parking

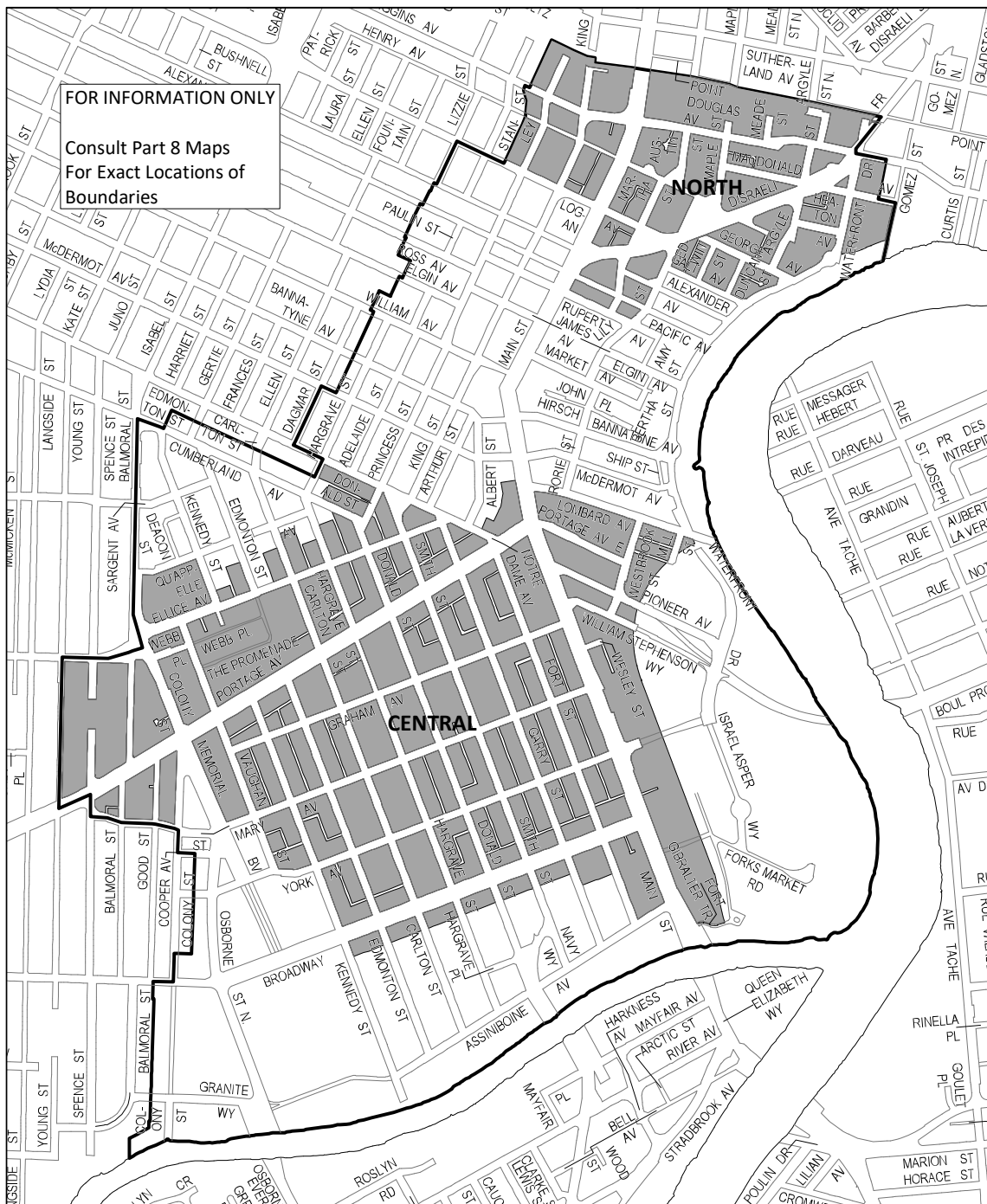
340(1) See Parking portion (section 230) of the General Provisions. In addition, refer to section 310 regarding Parking as a Land Use in the Multiple-Use Sector.

Loading

350(1) See Loading portion (section 240) of the General Provisions. In addition, refer to section 310 regarding Loading as a Land Use in the Multiple-Use Sector.

Urban Design

360(1) See Urban Design portion (section 250) of the General Provisions.



Multiple-Use Sector Map
By-Law No. 100/204



PART 4:

CHARACTER SECTOR

Part 4: Character Sector

Intent

400 This section is intended to encourage a compatible, fine-grained mix of uses-rather than a separation of uses in these diverse areas. The built form is key in this sector, ranging from the compact massing of the Exchange District, to the monumental Tyndall stone buildings near the Legislative Buildings, to the engaging variety of buildings and structures at The Forks. Urban design review in the Character Sector is intended to reinforce the valued current built forms in the Exchange District (identified in the *National Historic Site Commemorative Integrity Statement*) and near the Legislative Buildings, as well as the values expressed in *The Forks North Portage Partnership Concept Plan*, including enhanced pedestrian comfort.
amended 34/2014

Land Use

410(1) The following Land Use regulations are specific to the Character Sector. No new use or expansion of an existing use may be established except in compliance with the following regulations and with the Land Use portion (section 200) of the General Provisions.

410(2) Use Categories:

"P" - permitted use
"C" - conditional use
"A" - accessory use
"- " - not permitted use

USE CATEGORIES AND USES

RESIDENTIAL & RESIDENTIAL-RELATED	
Dwelling	P*
Care Home	P*
Neighbourhood care home	P*
Dormitory	P*
Single-room occupancy	C
Short Term Rental Accommodation	P
Live-work unit	P**
* - conditional if located at-grade, abutting Main Street	
** - conditional if not directly accessible from public sidewalk or if exceeding 3000 square feet of floor area	

amended 34/2014; 106/2023

COMMERCIAL SALES & SERVICE	
Retail Sales	P*
Wholesale sales	P*
Personal service	P*
Business support service	P*
Medical/dental/optical/counseling clinic	P*
Veterinary not including kennel	P*
Bank/financial service	P*
Private club, not licensed	P*
Hostel	P
Hotel	P
Restaurant	P***
Drinking Establishment	P**
Studio for artists/dancer/designers; musicians/photographers, including production from finished materials	P*
Billiard Hall, primarily participant	P**
<p>* - conditional if located at ground level and (a) not directly accessible from a public sidewalk, (b) floor area exceeds 5,000 square feet or (c) capacity exceeds 100 patrons</p> <p>** - conditional if located at ground level and not directly accessible from a public sidewalk, if floor area exceeds 5,000 square feet, or if capacity exceeds 100 patrons.</p> <p>*** - conditional if located at ground level and not directly accessible from a public sidewalk, or if floor area exceeds 10,000 square feet.</p>	

amended 206/2005; 34/2014; 17/2018; 26/2024

OFFICE	
Office	P
Call centre	P*
* - conditional if located at-grade, or if adjacent to any public road	

amended 206/2005

PRIVATE MOTOR VEHICLE -RELATED	
Auto/light truck/motorcycle rental & sales, entirely within enclosed building	C
Auto/light truck/motorcycle repair & service, entirely within enclosed building	C
Fuel Sales	-
Drive-in, Drive-through	-
Parking, non-accessory offstreet at grade	C
Parking, non-accessory offstreet above/below grade	P

TRANSPORTATION, UTILITY, & COMMUNICATIONS	
Power station, electrical/heating/cooling/Communications distribution facility	P
Bus Depot	C
Train station	C
Commercial Marina	C
Radio/television broadcast tower	C
<i>repealed 49/2010</i>	
Loading, non-accessory	C

PUBLIC & INSTITUTIONAL	
Church/religious institution	P
School	P
Daycare	P
Community/recreation centre, primarily participant	P
Courthouse	P
Jail/detention centre	P
Neighbourhood rehabilitation home	C
Emergency residential shelter	C
Library	P
Hospital, including overnight accommodations	C
Protection and emergency services	C
Research institution	C

amended 206/2005

CULTURAL & ENTERTAINMENT	
Auditorium/concert hall/theatre/cinema	P
Convention centre/exhibition hall	C
Amusement establishment, indoor	P
Casino	C
Cultural centre	P
Gallery, primarily spectator	P
Museum	P
Sports & entertainment arena/stadium, primarily spectator	C
Studio, radio/TV/motion picture broadcast & production	P
Dance hall	P*
Banquet hall	P*

* - conditional if located at ground level and not directly accessible from public sidewalk, if floor area exceeds 5,000 square feet, or capacity exceeds 100 patrons

amended 206/2005; 17/2018

PARK & PARK RELATED	
Park/plaza/square/playground, public access	P
Trail/walkway, public access	P
Boat dock, public access	P
Outdoor Urban Agriculture	P
Community Garden	P

amended 32/2021

LIGHT INDUSTRIAL	
Manufacture/assembly/repair/packaging of products from prepared materials, entirely within enclosed building	P
Warehouse, entirely within enclosed building	P
Printing/publishing	P
Commercial laundry/dry-cleaning plant	C
Craft brewery/distillery/winery	C
Commercial bakery	C
Recycling Centre	C
Indoor Urban Agriculture	P*

*Conditional if Property is located at grade or if floor area exceeds 5,000 square feet

amended 17/2018; 32/2021

RESTRICTED	
Adult entertainment	C
X-rated store	C
Dating & escort service	C
Body rub parlour	C
Pawnshop	-

ACCESSORY	
Parking offstreet at-grade*, to all uses	A
Parking off street above/below grade, to all uses	A
Loading, to all uses not exceeding 20 feet wide x 30 feet long, unless entirely within Building	A
Refuse storage, to all uses	A
Sign, to all uses	A
Home occupation, to Dwelling	A
Parish hall, to Church	A
Micro-brewery/winery/distillery, to Restaurant	A
Outdoor dining and drinking	A**
Bakery, to Restaurant and Grocery	A
Beekeeping Yard	A
Accessory building, structure or use	A
<p>* - conditional if property is abutting Main Street, or if parking spaces and aisles exceed 10% of lot area, when adjacent to a public right-of-way. See subsection 230(1.5).</p> <p>** - hours of operation must not extend beyond 11:00 p.m. Monday through Friday or 12:00 a.m. Saturday and Sunday</p>	

amended 206/2005; 34/2014; 100/2015; 15/2016; 17/2018; 26/2024

Bulk

420(1)

The following Bulk regulations and guidelines are specific to the Character Sector. No new building or structure, or expansion of an existing structure, may be developed or enlarged within this sector that does not comply with the following regulations and the Bulk portion (section 210) of the General Provisions, Subsection 420(2) provides for basic Bulk regulations for this sector and exceptions for properties within the Warehouse area shown on the map at the end of Part 4, and those abutting Main Street, Lombard Avenue, and Water Avenue.

amended 100/2015

420(2) Bulk regulations:

CHARACTER SECTOR	GENERAL	WAREHOUSE PROPERTIES	MAIN STREET LOMBARD AVE. PROPERTIES	WATER AVENUE PROPERTIES
Building Height Minimum‡	25 feet	25 feet	35 feet	25 feet
Building Height Maximum****	100 feet	100 feet	150 feet	Not applicable
Floor Area Ratio Maximum	n/a	n/a	n/a	12
Front, Side, Corner Side Yards‡	Not applicable	5 foot front and corner side maximum***	5 foot front and corner side maximum***	Not applicable
Residential Uses Interior Side Yards Minimum*‡	10-50 feet in height: 10 feet	10-50 feet in height: 10 feet	10-50 feet in height: 10 feet	10-50 feet in height: 10 feet
	above 50 feet in height: 20 feet	above 50 feet in height: 20 feet	above 50 feet in height: 20 feet	above 50 feet in height: 20 feet
Residential Uses Rear Yards Minimum**‡	20 feet	20 feet	20 feet	20 feet
<p>* - no interior side yard is required when no doors, windows, or other openings are provided in the wall facing the adjacent property and in the adjacent property wall (see section 210)</p> <p>** - for up to 50 feet in building height, 20 foot minimum rear yard may be calculated from the building wall to the mid-point of an existing public road or lane (see section 210)</p> <p>*** - applies to minimum 50% of building wall length</p> <p>**** - building heights may be limited by 'Building Height Control Area: Legislative Core - Winnipeg' Public Works Act restrictions [see subsection 210(13)]</p> <p>‡- not applicable to all or part of an existing structure converting to a residential use, or to an accessory building, structure or use</p>				

amended 206/2005; 34/2014; 26/2024

420(3) Bulk Guidelines

Signs

430(1) The following Sign regulations are specific to the Character Sector. No new sign or sign structure and no alteration to an existing sign or sign structure may be established or erected except in accordance with the following regulations and the Signs portion (section 220) of the General Provisions. Subsection 430(2) provides Sign regulations for this sector, including distinctions for the Warehouse, Legislature, and The Forks areas shown on the map at the end of Part 4.

amended 100/2015

430(2) Sign Regulations:

(a)

USE IDENTIFICATION TYPE		WAREHOUSE	LEGISLATURE	THE FORKS
Total Sign Volume		3 square feet per frontage foot	3 square feet per frontage foot	3 square feet per frontage foot*
Sign Form	Attached	All, except digital signs	All, except digital signs	All, except digital signs
	Free-standing	Not applicable	Podium, ground-oriented, except digital signs	Podium, ground-oriented, except digital signs
Sign Size Maximum		Not applicable	Not applicable	Not applicable
Sign Structure Height Maximum, Free-standing		Not applicable	4 feet	4 feet
Sign Location, Attached		Below 25 feet in height	Below 25 feet in height	Below 25 feet in height
* - where property does not have frontage on a public road, 300 square foot total per building				

amended 206/2005; 34/2014

(b)

BUILDING IDENTIFICATION TYPE		WAREHOUSE	LEGISLATURE	THE FORKS
Total Sign Volume		2% of building wall*	2% of building wall*	2% of building wall*
Sign Form	Attached	All except <u>digital signs</u>	All except <u>digital signs</u>	All except <u>digital signs</u>
	Free-standing	Roof, except digital signs	Podium, ground-oriented, except digital signs	Podium, ground-oriented, except digital signs
Sign Size Maximum		Not applicable	Not applicable	Not applicable
Sign Structure Height Maximum, Free-standing		10 feet above parapet	4 feet	4 feet
Sign Location	Attached	1 sign per building wall maximum**	1 sign per building wall maximum**	1 sign per building wall maximum**
	Free-standing	1 sign per public road frontage maximum	1 sign per public road frontage maximum	1 sign per public road frontage maximum***
<p>* - 48 square foot maximum sign size, when 2% of building wall calculation results in less than 48 square feet</p> <p>** - does not apply to those signs located below 25 feet in height</p> <p>*** - where property does not have frontage on public road, 2 signs per building maximum</p>				

amended 206/2005; 34/2014; 100/2015

(c)

EVENT TYPE*		WAREHOUSE	LEGISLATURE	THE FORKS
Total Sign Volume		Not applicable	Not applicable	Not applicable
Sign Form	Attached	Fascia, projecting, marquee, projection	Fascia, projecting, marquee, projection	Fascia, projecting, marquee, projection
	Free-standing	Podium, ground-oriented	Podium, ground-oriented	Podium, ground-oriented
Sign Size Maximum		64 square feet	64 square feet	96 square feet
Sign Structure Height Maximum Free-standing		4 feet	4 feet	4 feet
Sign Location	Attached	Below 25 feet in height	Below 25 feet in height	Below 25 feet in height
	Free-Standing	1 sign per public road frontage maximum	1 sign per public road frontage maximum	1 sign per public road frontage maximum**
* - can only be established in conjunction with "Cultural & Entertainment" uses ** - where property does not have frontage on a public road, 2 signs per building maximum				

amended 34/2014

(d)

DIRECTIONAL TYPE		BASIC	WATER AVENUE AND PIONEER AVENUE PROPERTIES
Total Sign Volume		Not applicable	Not applicable
Sign Form	Attached	All	All
	Free-standing	All	All
Sign Size Maximum		4 square feet per sign	6 square feet per sign
Sign Structure Height Maximum, Free-standing		10 feet	10 feet
Sign Location	Attached	Below 25 feet in height	Below 25 feet in height
	Free Standing	Not Applicable	Not Applicable

amended 34/2014

(e)

PARKING INSTRUCTIONS TYPE		BASIC
Total Sign Volume		Not Applicable
Sign Form	Attached	All
	Free-standing	All
Sign Size Maximum		24 square feet per sign
Sign Structure Height Maximum, Free-standing		10 feet
Sign Location	Attached	Below 25 feet in height
	Free-standing	Set back from the public road right-of-way by a minimum distance equal to one half of the height of the sign

amended 34/2014; 17/2018

Parking

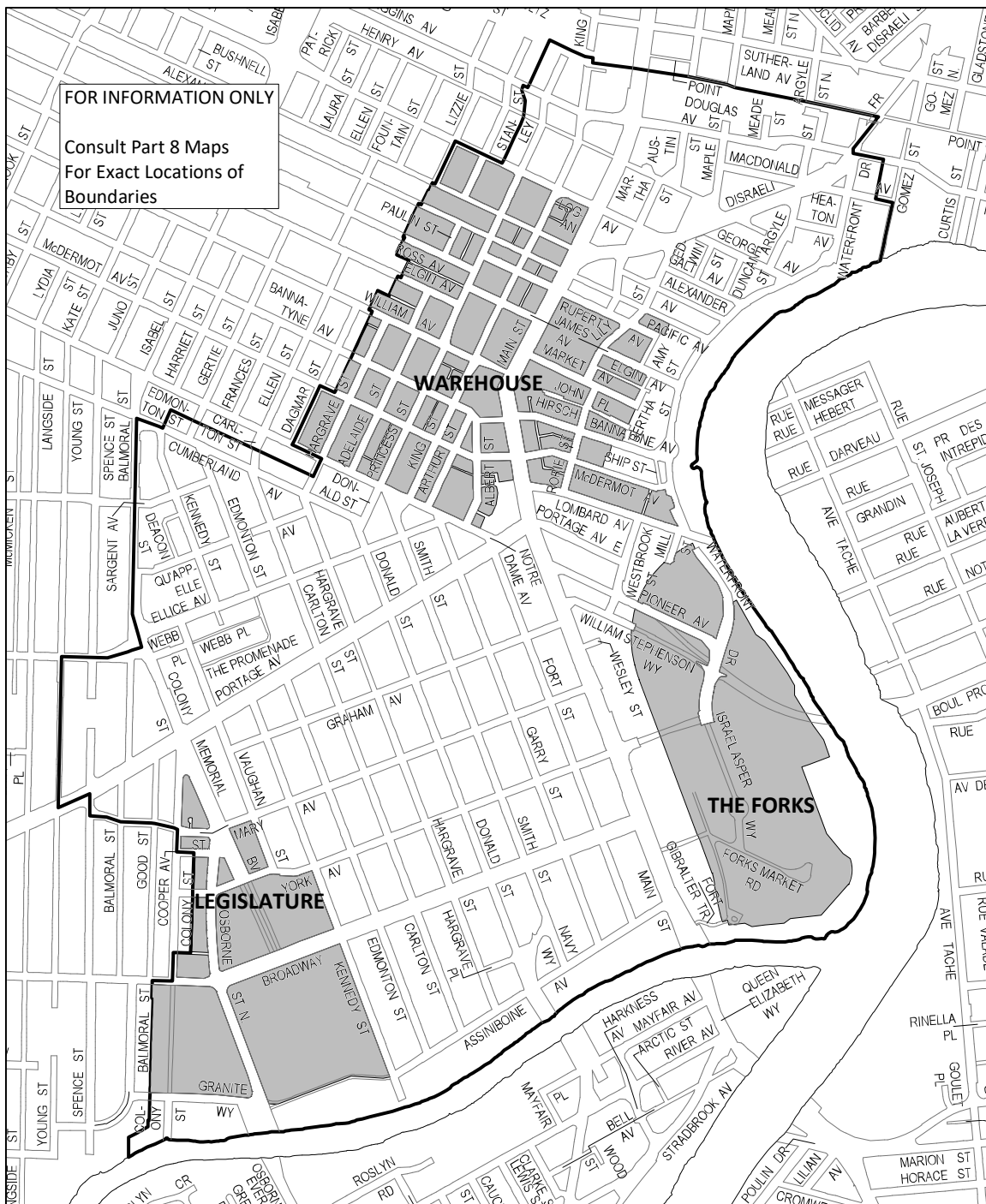
440(1) See Parking portion (section 230) of the General Provisions. In addition, refer to section 410 regarding Parking as a Land use in the Character Sector.

Loading

450(1) See Loading portion (section 240) of the General Provisions. In addition refer to section 410 regarding Loading as a Land Use in the Character Sector.

Urban Design

460(1) See the Urban Design portion (section 250) of the General Provisions. In addition, refer to *Exchange District National Historic Site* and *The Forks North Portage Partnership Concept Plan* maps in Appendices.



Character Sector Map
By-Law No. 100/204



PART 5:

DOWNTOWN LIVING SECTOR

Part 5: Downtown Living Sector

Intent

500 This sector is intended to enhance these primarily residential areas. Dwelling, parks, recreation opportunities, local commercial amenities, educational facilities, and complementary services are encouraged. Although mixed-use development is encouraged, predominant use of buildings in this sector is expected to be residential. The built form ranges from 2-storey century homes, to low-rise walk-up apartments, to high-rise condominiums. Urban design review in the Downtown Living Sector is intended to enhance the pedestrian environment.

Land Use

510(1) The following Land Use regulations are specific to the Downtown Living Sector. No new use or expansion of an existing use may be established except in compliance with the following regulations and with the Land Use portion (section 200) of the General Provisions.

510(2) Use Categories:

"P" – permitted use
"C" – conditional use
"A" – accessory use
"- " – not permitted use

USE CATEGORIES AND USES

RESIDENTIAL & RESIDENTIAL RELATED	
Dwelling	P
Care home	P
Neighbourhood care home	P
Dormitory	P
Single-room occupancy	C
Short Term Rental Accommodation	P
Live-work unit	P*
* - conditional if not directly accessible from public sidewalk or if exceeding 3000 square feet of floor area	

amended 106/2023

COMMERCIAL SALES & SERVICE	
Retail Sales	P*
Wholesale sales	C
Personal services	P*
Business support services	P*
Medical/dental/optical/counseling clinic	P*
Veterinary, not including kennel	P*
Bank/finance service	P*
Private club, not licensed	P*
Hostel	C
Hotel	C
Restaurant	P*
Drinking establishment	C
Studio for artists/dancers/designers/musicians/photographers, including production from finished products	P*
Billiard hall, primarily participant	C
* - "conditional if located at ground level and (a) not directly accessible from a public sidewalk or (b) floor area exceeds 5,000 square feet <i>amended 17/2018; 26/2024</i>	

OFFICE	
Office	P
Call centre	C

PRIVATE MOTOR VEHICLE-RELATED	
Auto/light truck/motorcycle rental & sales, entirely within enclosed building	-
Auto-light truck/motorcycle repair & service, entirely within enclosed building	-
Fuel sales	-
Drive-in, Drive-through	-
Parking, non-accessory offstreet at grade	C
Parking, non-accessory offstreet above/below grade	P

TRANSPORTATION, UTILITY, & COMMUNICATIONS	
Power station, electrical/heating/cooling/ communications distribution facility	P
Bus depot	-
Train station	-
Commercial marina	C
Radio/television broadcast tower	C
<i>repealed 49/2010</i>	
Loading, non-accessory	C

PUBLIC & INSTITUTIONAL	
Church/religious institution	P
School	P
Daycare	P
Community/recreation centre, primarily participant	P
Courthouse	C
Jail/detention centre	-
Neighbourhood rehabilitation home	C
Emergency residential shelter	C
Library	P
Hospital, including overnight accommodations	C
Protection & emergency services	C
Research institution	C

amended 206/2005

CULTURAL & ENTERTAINMENT	
Auditorium/concert hall/theatre/cinema	C
Convention centre/exhibition hall	-
Amusement enterprise	-
Casino	-
Cultural centre	C
Gallery, primarily spectator	P
Museum	P
Sports & entertainment arena/stadium, primarily spectator	-
Studio, radio/TV/motion picture broadcast & production	-
Dance hall	C
Banquet hall	C

PARK & PARK-RELATED	
Park/plaza/square/playground, public access	P
Trail/walkway, public access	P
Boat dock, public access	P
Outdoor Urban Agriculture	P
Community Garden	P

amended 32/2021

LIGHT INDUSTRIAL	
Manufacture/assembly/repair/packaging of products from prepared materials, entirely within enclosed building	-
Warehouse, entirely within enclosed building	-
Printing/publishing	C
Commercial laundry/dry-cleaning plant	-
Craft brewery/distillery/winery	-
Commercial bakery	-
Recycling centre	-
Indoor Urban Agriculture	-

amended 17/2018; 32/2021

RESTRICTED	
Adult entertainment	-
X-rated store	-
Dating & escort service	-
Body rub parlour	-
Pawnshop	-

amended 34/2014

ACCESSORY	
Parking offstreet at-grade*, to all uses	A
Parking off street above/below grade, to all uses	A
Loading, to all uses not exceeding 20 feet wide X 30 feet long, unless located entirely within building	A
Refuse storage, to all uses	A
Sign, to all uses	A
Home occupation, to Dwelling	A
Parish hall, to Church	A
Micro-brewery/winery/distillery, to Restaurant	A
Bakery, to Restaurant and Grocery	A
Beekeeping Yard	A
Outdoor dining and drinking **	A
Accessory building, structure or use	A
* - conditional if parking spaces and aisles exceed 10% of lot area, when adjacent to a public right-of-way. See subsection 230(1.5).	
** hours of operation must not extend beyond 11:00 p.m. Monday through Friday or 12:00 a.m. Saturday and Sunday.	

amended 206/2005; amended 34/2014; 100/2015; 15/2016; 17/2018; 26/2024

Bulk

520(1) The following Bulk regulations and guidelines are specific to the Downtown Living Sector. No new building or structure, or expansion of an existing structure, may be developed or enlarged within this sector that does not comply with the following regulations and the Bulk portion (section 210) of the General Provisions. Subsection 520(2) provides for basic Bulk regulations for this sector and exceptions for properties within the Waterfront Drive area shown on the map at the end of Part 5, and selected streets in the South Broadway area.

amended 206/2005; 34/2014; 100/2015

520(2) Bulk regulations:

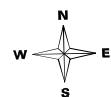
DOWNTOWN LIVING SECTOR	GENERAL	WATERFRONT DRIVE	SOUTH BROADWAY SUB-SECTOR -see map below
Building Height Minimum†	25 feet	25 feet	25 feet
Building Height Maximum****	Not applicable	100 feet	60 feet††
Floor Area Ratio Maximum	8	Not applicable	Not applicable
Front Side, Corner Side Yards‡	Not applicable	5 foot front and corner side maximum***	Not applicable
Residential Uses Interior Side Yards Minimum*‡	10-50 feet in height: 10 feet	10-50 feet in height: 10 feet	10-50 feet in height: : 10 feet
	above 50 feet in height: 20 feet	above 50 feet in height: 20 feet	above 50 feet in height: 20 feet
Residential Uses Rear yards Minimum**‡	20 feet	20 feet	20 feet
<p>* - no interior side yard is required when no doors, windows, or other openings are provided in the wall facing the adjacent property and in the adjacent property wall (see section 210)</p> <p>** - for up to 50 feet in building height, 20 foot minimum rear yard may be calculated from the building wall to the mid-point of an existing public road or lane (see section 210)</p> <p>*** - applies to minimum 50% of building wall length</p> <p>**** - building heights may be limited by 'Building Height Control Area: Legislative Core – Winnipeg' Public Works Act restrictions [see subsection 210(13)]</p> <p>‡- not applicable to all or part of an existing structure converting to a residential use, or to an accessory building, structure or use</p> <p>†† - 100 feet on corner lots</p>			

amended 206/2005; 34/2014; 100/2015; 26/2024



South Broadway Sub Sector

added 34/2014



520(3) Bulk Guidelines

Signs

530(1) The following Sign regulations are specific to the Downtown Living Sector. No new sign or sign structure and no alteration to an existing sign or sign structure may be established or erected except in accordance with the following regulations and the Signs portion (section 220) of the General Provisions. Subsection 530(2) provides basic Sign regulations for this sector and distinctions for the Waterfront Drive area shown on the map at the end of Part 5.

amended 100/2015

530(2) Sign regulations:

(a)

USE IDENTIFICATION TYPE		BASIC	WATERFRONT DRIVE
Total Sign Volume		2 square feet per frontage foot	3 square feet per frontage foot
Sign Form	Attached	All, except digital signs	All, except digital signs
	Free-standing	Podium, ground-oriented, except digital signs	Podium, ground-oriented, except digital signs
Sign Size Maximum		32 square feet	Not applicable
Sign Structure Height Maximum, Free-standing		4 feet	4 feet
Sign Location, Attached		Below 25 feet in height	Below 25 feet in height

amended 206/2005, 34/2014

(b)

BUILDING IDENTIFICATION TYPE		BASIC	WATERFRONT DRIVE
Total Sign Volume		1.5% of building wall*	2% of building wall**
Sign Form	Attached	Fascia, awning, canopy, except digital signs	All, except digital signs
	Free-standing	Podium, ground-oriented, except digital signs	Podium, ground-oriented, except digital signs
Sign Size Maximum		Not applicable	Not applicable
Sign Structure Height Maximum, Free-standing		4 feet	4 feet
Sign Location	Attached	1 sign per building wall maximum***	1 sign per building wall maximum***
	Free-standing	1 sign per public road frontage maximum	1 sign per public road frontage maximum
<p>* - 48 square foot maximum sign size, when 1.5% of building wall calculation results in less than 48 square feet</p> <p>** - 48 square foot maximum sign size, when 2% of building wall calculation results in less than 48 square feet</p> <p>*** - does not apply to those signs located below 25 feet in height</p>			

amended 206/2005, 34/2014

(c)

EVENT TYPE*		BASIC	WATERFRONT DRIVE
Total Sign Volume		Not applicable	Not applicable
Sign Form	Attached	Fascia, projecting, marquee, except digital signs	Fascia, projecting, marquee, except digital signs
	Free-standing	Podium, ground-oriented, except digital signs	Podium, ground-oriented, except digital signs
Sign Size Maximum		48 square feet	64 square feet
Sign Structure Height Maximum, Free-standing		4 feet	4 feet
Sign Location	Attached	Below 25 feet in height	Below 25 feet in height
	Free-standing	1 sign per property maximum	1 sign per public road frontage maximum
* - can only be established in conjunction with "Cultural & Entertainment" uses			

amended 206/2005; 34/2014

(d)

DIRECTIONAL TYPE		BASIC
Total Sign Volume		Not applicable
Sign Form	Attached	All
	Free-standing	All
Sign Size Maximum		4 square feet per sign
Sign Structure Height Maximum, Free-standing		10 feet
Sign Location	Attached	Below 25 feet in height
	Free-standing	Not applicable

amended 34/2014

(e)

PARKING INSTRUCTIONS TYPE		BASIC
Total Sign Volume		Not applicable
Sign Form	Attached	All
	Free-standing	All
Sign Size Maximum		24 square feet per sign
Sign Structure Height Maximum, Free-standing		10 feet
Sign Location	Attached	Below 25 feet in height
	Free-standing	Set back from the public road right-of-way by a minimum distance equal to one half of the height of the sign

amended 34/2014; 17/2018

Parking

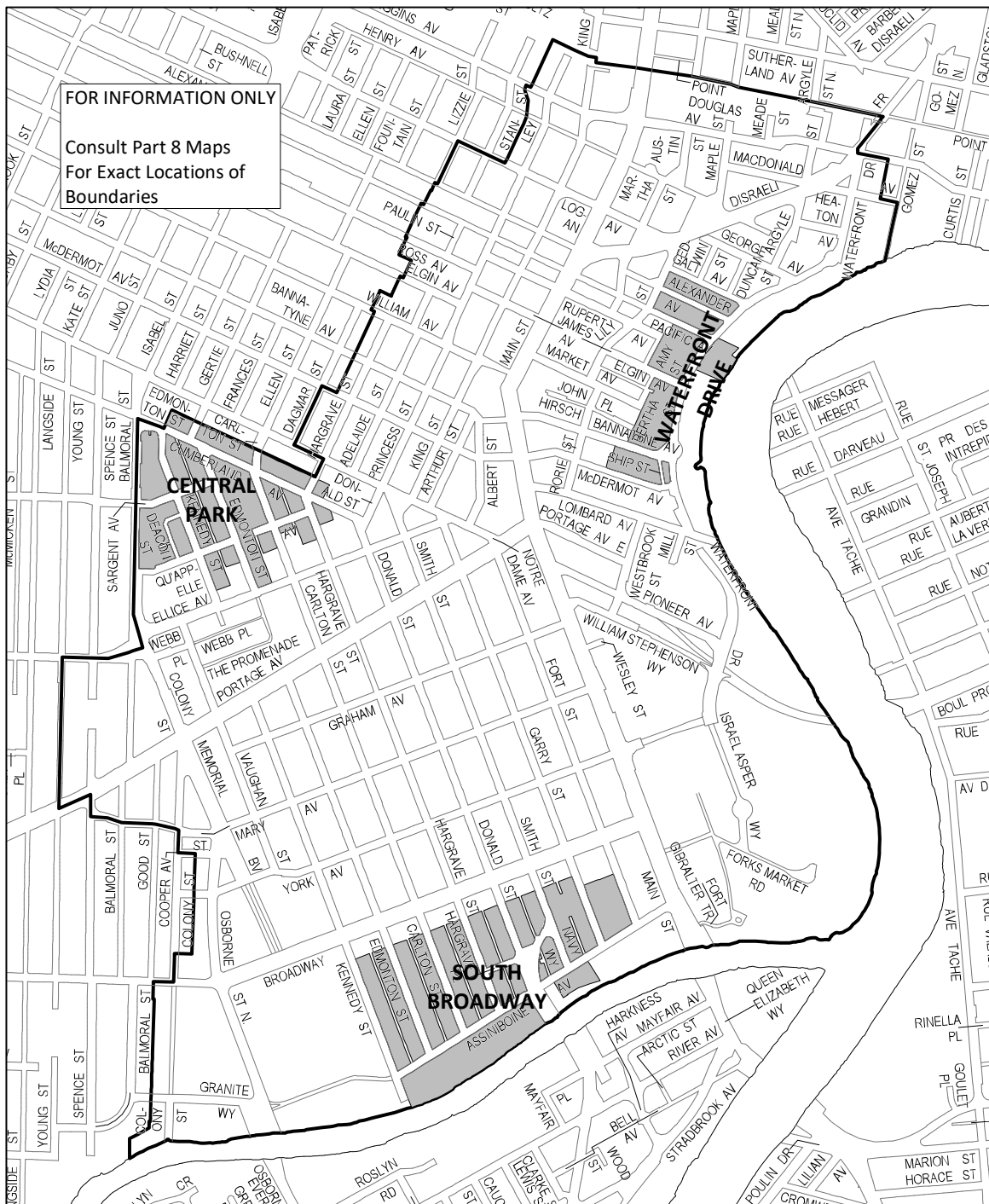
540(1) See Parking portion (section 230) of the General Provisions. In addition, refer to section 510 regarding Parking as a Land Use in the Downtown Living Sector.

Loading

550(1) See Loading portion (section 240) of the General Provisions. In addition, refer to section 510 regarding Loading as a Land Use in the Downtown Living Sector.

Urban Design

560(1) See the Urban Design portion (section 250) of the General Provisions. In addition, refer to Exchange District National Historic Site map in Appendices.



Downtown Living Sector Map
By-Law No. 100/204



PART 6:
RIVERBANK SECTOR

Part 6: Riverbank Sector

Intent

600 This sector is intended primarily for the use and enjoyment of the public. Uses supportive of and accessory to a continuous linear parkway and public gathering nodes are encouraged. In order to ensure that views and access to and from the Red and Assiniboine Rivers are enhanced, urban design review in this sector will encourage modestly-scaled buildings and structures, as well as high-quality built form.

Land Use

610(1) The following Land Use regulations are specific to the Riverbank Sector. No new use or expansion of an existing use may be established except in compliance with the following regulations and with the Land Use portion (section 200) of the General Provisions.

610(2) Use Categories:

"P" – permitted use
"C" – conditional use
"A" – accessory use
"- " – not permitted use

USE CATEGORIES AND USES

RESIDENTIAL & RESIDENTIAL RELATED	
Dwelling	-
Care home	-
Neighbourhood care home	-
Dormitory	-
Single-room occupancy	-
Short Term Rental Accommodation	-
Live-work unit	-

amended 106/2023

COMMERCIAL SALES & SERVICE	
Retail sales	A to Park uses
Wholesale sales	-
Personal services	A to Park uses
Business support services	-
Medical/dental/optical/counselling clinic	-
Veterinary, not including kennel	-
Bank/financial service	-
Private club, not licensed	-
Hostel	-
Hotel	-
Restaurant	A to Park uses
Drinking establishment	-
Studio for artists/dancers/designers/musicians/photographers, including production from finished materials	A to Park uses
Billiard hall, participant	-

OFFICE	
Office	A to Park uses
Call centre	-

PRIVATE MOTOR VEHICLE-RELATED	
Auto/light truck/motorcycle rental & sales, entirely within enclosed building	-
Auto-light truck/motorcycle repair & service, entirely within enclosed building	-
Fuel sales	-
Drive-in, Drive-through	-
Parking, non-accessory offstreet at grade	-
Parking, non-accessory offstreet above/below grade	-

TRANSPORTATION, UTILITY, & COMMUNICATIONS	
Power station, electrical/heating/cooling/communications distribution facility	-
Bus depot	-
Train station	-
Commercial marina	C
Radio/television broadcast tower	-
Wireless communications tower <i>amended 49/2010</i>	-
Loading, non-accessory	-

PUBLIC & INSTITUTIONAL	
Church/religious institution	-
School	-
Daycare	-
Community/recreation centre, primarily participant	P
Courthouse	-
Jail/detention centre	-
Neighbourhood rehabilitation home	-
Emergency residential shelter	-
Library	-
Hospital, including overnight accommodations	-
Protection & emergency services	-
Research institution	-

amended 206/2005

CULTURAL & ENTERTAINMENT	
Auditorium/concert hall/theatre/cinema	C
Convention centre/exhibition hall	-
Amusement enterprise	-
Casino	-
Cultural centre	-
Gallery, primarily spectator	A to Park uses
Museum	A to Park uses
Sports & entertainment arena/stadium, primarily spectator	-
Studio, radio/TV/motion picture broadcast & production	-
Dance hall	-
Banquet hall	-

amended 206/2005

PARK & PARK-RELATED	
Park/plaza/square/playground, public	P
Trail/walkway, public	P
Boat dock, public	P
Outdoor Urban Agriculture	P
Community Garden	P

amended 32/2021

LIGHT INDUSTRIAL	
Manufacture/assembly/repair/packaging of products from prepared materials, entirely within enclosed building	-
Warehouse, entirely within enclosed building	-
Printing/publishing	-
Commercial laundry/dry-cleaning plant	-
Craft brewery/distillery/winery	-
Commercial bakery	-
Recycling centre	-
Indoor Urban Agriculture	C

amended 17/2018; amended 32/2021

RESTRICTED	
Adult entertainment	-
X-rated store	-
Dating & escort service	-
Body rub parlour	-
Pawnshop	-
Halfway house/residential treatment centre	-

amended 34/2014

ACCESSORY	
Parking offstreet at-grade*, to all uses	A
Parking off street above/below grade, to all uses	A
Loading, to all uses not exceeding 20 ft wide X 30 ft long, unless located entirely within building	A
Refuse storage, to all uses	A
Sign, to all uses	A
Retail sales, to Park	A
Personal services, to Park	A
Restaurant, to Park	A
Studio for artists/dancers/designers/musicians photographers, including production from prepared materials, to Park	A
Office, to Park	A
School, to Park	A
Research institution, to Park	A
Gallery, primarily spectator, to Park	A
Museum, to Park	A
Home occupation, to Dwelling	-
Parish Hall, to Church	-
Micro-brewery/winery/distillery, to Restaurant	-
Bakery, to Restaurant and Grocery	-
Beekeeping Yard	A
Outdoor dining and drinking, to Park**	A
Accessory building, structure or use, to Park	A
* - conditional if parking spaces and aisles exceed 10% of lot area, when adjacent to a public right-of-way. See subsection 230(1.5).	
** hours of operation must not extend beyond 11:00 p.m. Monday through Friday or 12:00 a.m. Saturday and Sunday	

amended 206/2005; 34/2014; 100/2015; 15/2016; 26/2024

Bulk

- 620(1) The following Bulk regulations and guidelines are specific to the riverbank Sector. No new building or structure, or expansion of an existing structure, may be developed or enlarged within this sector that does not comply with the following regulations and the Bulk portion (section 210) of the General Provisions. Subsection 620(2) provides for basic Bulk regulations for this sector.

620(2) Bulk regulations:

RIVERBANK SECTOR	BASIC
Building Height Maximum*	50 feet
Floor Area Ratio Maximum	2
Front, Side, Corner Side Yards	Not applicable
* - building heights may be limited by 'Building Height Control Area: Legislative Core: - Winnipeg' Public Works Act restrictions [see subsection 210(13)] <i>amended 206/2005; 34/2014</i>	

620(3) Bulk Guidelines

Signs

630(1) The following Sign regulations are specific to the Riverbank Sector. No new sign or sign structure and no alteration to an existing sign or sign structure may be established or erected except in accordance with the following regulations and the Signs portion (section 220) of the General Provisions. Subsection 630(2) provides basic Sign regulations for this sector.

630(2) Sign regulations:

(a)

USE IDENTIFICATION TYPE		BASIC
Total Sign Volume		2 square feet per frontage foot*
Sign Form	Attached	All except <u>digital signs</u>
	Free-standing	None
	Pylon	
Sign Size Maximum		32 square feet
Sign Structure Height Maximum, Free-standing		Not applicable
Sign Location Attached		Below 25 feet in height
* - where property does not have frontage on a public road, 200 square foot total per building <i>amended 34/2014</i>		

(b)

BUILDING IDENTIFICATION TYPE		BASIC
Total Sign Volume		1.5% of building wall*
Sign Form	Attached	Fascia, awning, canopy, except digital signs
	Free-standing	Podium, ground-oriented, except digital signs
Sign Size Maximum		Not applicable
Sign Structure Height Maximum, Free-standing		4 feet
Sign Location	Attached	1 sign per building wall maximum**
	Free-standing	Not applicable
* - 48 square foot maximum sign size, when 1.5% of building wall calculation results in less than 48 square feet		
** - does not apply to those signs located below 25 feet in height		

amended 206/2005; 34/2014

(c)

EVENT TYPE*		BASIC
Total Sign Volume		Not applicable
Sign Form	Attached	Fascia, projecting, marquee, except digital signs
	Free-standing	Podium, ground-oriented, except digital signs
Sign Size Maximum		48 square feet
Sign Structure Height Maximum, Free-standing		4 feet
Sign Location	Attached	Below 25 feet in height
	Free-standing	1 sign per property Maximum
* - can only be established in conjunction with "Cultural & Entertainment" uses		

amended 34/2014

(d)

DIRECTIONAL TYPE		BASIC
Total Sign Volume		Not applicable
Sign Form	Attached	All
	Free-standing	All
Sign Size Maximum		4 square feet per sign
Sign Structure Height Maximum, Free-standing		10 feet
Sign Location	Attached	Below 25 feet in height
	Free-standing	Not applicable

amended 34/2014

(e)

PARKING INSTRUCTIONS TYPE		BASIC
Total Sign Volume		Not applicable
Sign Form	Attached	All
	Free-standing	All
Sign Size Maximum		24 square feet per sign
Sign Structure Height Maximum, Free-standing		10 feet
Sign Location	Attached	Below 25 feet in height
	Free-standing	Set back from the public road right-of-way by a minimum distance equal to one half of the height of the sign

amended 34/2014; 17/2018

Parking

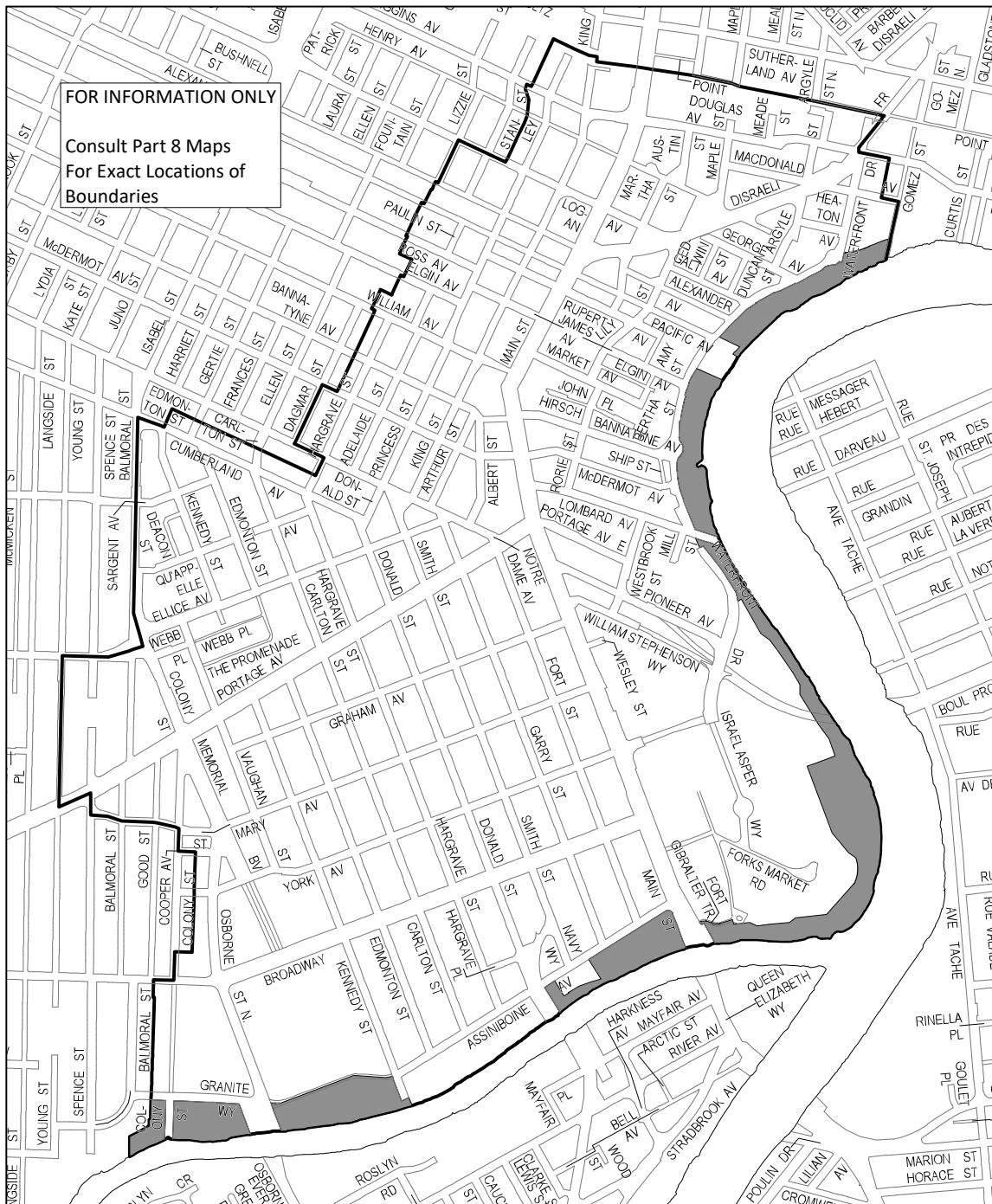
640(1) See Parking portion (section 230) of the General Provisions. In addition, refer to section 610 regarding Parking as a Land Use in the Riverbank Sector.

Loading

650(1) See Loading portion (section 240) of the General Provisions. In addition, refer to Section 610 regarding Loading as a Land Use in the Riverbank Sector.

Urban Design

660(1) See Urban Design portion (section 250) of the General Provisions. In addition, refer to The Forks National Historic Site map in Appendices.



Riverbank Sector Map
By-Law No. 100/204



PART 7:

DEFINITIONS

Part 7: Definitions

700(1) Terms not specifically defined in this Part have their usual and customary meaning, or as defined in relevant statutes and City by-laws.

700(2) General Definitions:

“abut”

Means immediately contiguous to or physically touching and, when used with respect to a lot or site, means the lot or site physically touches upon another lot, site, right-of-way, or piece of land and shares a property line or boundary line with it.

“accessory building, structure, or use”

Means a building, structure, or use established or erected in conjunction with or subsequent to the establishment or erection of a principal building, structure, or use approved under this by-law, and is subordinate or incidental to, and located on the same zoning lot, as a principal building, structure, or use.

“advisory committee”

Means a committee appointed by the Standing Policy Committee on Property and Development under subsection 250(12).

amended 48/2011; 106/2015; 137/2022

“building height”

Means the total number of storeys in a building or the vertical distance measured from grade to:

- (a) the highest point of the roof surface of a flat roof;
- (b) the deck of a mansard roof;
- (c) the mean height level between the eaves and ridge of a gable, hip, or gambrel roof.

“cannabis production facility, designated”

Means the use of buildings or structures for cultivating, propagating, harvesting, drying, storing, packaging or distributing cannabis where the operator of the facility is authorized to produce cannabis for the medical use of specific individual(s) pursuant to Part 14 of the Cannabis Regulations, SOR/2018-144, as amended, or its successor, and the Cannabis Act, S.C. 2018, c. 16, as amended, or its successor. For greater certainty, this definition does not include the use of buildings or structures by an individual to produce cannabis for their own personal medical use.

added 46/2022

"CentrePlan"

CentrePlan is the City's Downtown plan. It articulates the long-term vision for the downtown, together with strategies intended to see the vision realized over the long-term. It is to be read in conjunction with the OurDowntown section of the Complete Communities Direction Strategy.

amended 34/2014

"Community Gardens"

Means a public use of land for the cultivation of fruits, flowers, vegetables or ornamental plants by more than one person or household.

added 32/2021

"Complete Communities Direction Strategy"

Means the city-wide secondary plan and companion document to OurWinnipeg, adopted by Council.

added 34/2014

"conditional use order"

Means an order in respect of an application for a conditional use. "Conditional use" means a use of real property that might be approved under a zoning by-law.

"corner side yard"

See "yard, corner side".

"development"

Means the construction of a building or structure on, over or under land, a change in the use or intensity of use of a building or land, the removal of soil or vegetation from land, the deposit or stockpiling of soil or material on land, and the excavation of land.

"development permit"

Means a permit authorizing a development that is subject to a zoning by-law.

"directly accessible from public sidewalk"

Means that portion of a non-residential or mixed-use building constructed to enable direct customer access to the building's use or uses directly from a public sidewalk, rather than from parking areas, interior hallways, enclosed malls, or common lobby areas. Includes portions of the building located at-grade, but also those portions directly accessible from the public sidewalk via stairs, ramps, or similar means. Also includes uses directly accessible from the designated Weather Protected Walkway System.

"Director"

Means, except where otherwise specified herein, the Director of Planning, Property and Development and his/her delegates.

"feet"

See "foot"

“floor area”

Means the sum of all horizontal areas of all floors of all buildings and structures on a zoning lot, measured from the exterior faces of exterior walls or from the centre line of partitions, but does not include areas used for the following:

- (a) below- or above-grade parking facilities;
- (b) interior loading facilities;
- (c) interior tenant space that is located at grade and is:
 - (i) adjacent to a public road; or
 - (ii) directly accessible from a public sidewalk;
- (d) any use that:
 - (i) is located along;
 - (ii) is on the same floor as; and
 - (iii) has direct access tothe designated Weather Protected Walkway System;
- (e) incidental service storage; and
- (f) rooftop mechanical structures housing elevators, stairwells, heating/ventilation/air conditioning equipment, water systems, fire equipment, or similar building mechanical systems.

added 17/2018

“floor area ratio”

Means the total floor area of all buildings and structures on a zoning lot divided by the total area of the zoning lot.

amended 17/2018

“foot”

One Imperial foot equals 0.3048 metres.

amended 34/2014

“front yard”

See “yard, front”.

“frontage”

Means that portion of a zoning lot fronting on a public road. For the purposes of frontage foot calculations, “frontage” includes all property lines abutting public roads.

“grade”

Means the elevation calculated by the Director to be average of the elevations of the points at which a building or structure contacts the surface of the lot or parcel of land upon which the building or structure is located. Established for the purpose of regulating the number of storeys and height of buildings and structures.

“holding lines”

Means, where two or more contiguous properties are held by the same owner, the line dividing one owner’s parcel holdings from another’s.

“light truck”

Means trucks and similar vehicles with single rear axles and single rear wheels.

“lot, corner”

Means a zoning lot which abuts the intersection of two or more public streets, or which abuts the approximately perpendicular intersection of two or more frontages of the same public road.

“lot, interior”

Means a lot other than a corner lot or a through lot.

“lot, through”

Means a zoning lot which abuts two or more public roads, but which does not abut the intersection of those streets.

“lot, zoning”

Means a parcel of land which abuts a public street or abuts an unimproved street which is to be improved as a public street to serve that lot pursuant to an agreement with the City of Winnipeg, or is separated from a public street which it would otherwise abut by a portion of that parcel acquired out of it by the City of Winnipeg or by the Queen in the Right of the Government of Manitoba for the purpose of dyking or future street widening, and which:

- (a) conforms to the lot width and lot area requirements of the applicable zoning sector and is one entire subdivided parcel, no part of which can separately be conveyed without subdivision approval under The City of Winnipeg Charter;
- (b) does not conform to the lot width and/or lot area requirements of the applicable zoning sector, which is not contiguous with any parcel registered to the same owner, and which lawfully existed on the date of enactment or amendment of this zoning by-law; or

- (c) does not conform to the lot width and/or lot area requirements of the applicable zoning sector, which is not contiguous with any parcel registered to the same owner, and which does not conform solely as a result of acquisition of a portion of that lot by the City of Winnipeg or by the Queen in the Right of the Government of Manitoba.

"lot area"

Means the total area contained within the lot lines of a lot.

"lot depth"

Means the horizontal distance between the centre points in the front and rear lot lines.

"lot line, front"

Means

- (a) in the case of an interior lot, all lot limits which abut public streets; or
- (b) in the case of a through lot, all lot limits which abut public streets from which vehicular access is permitted; or
- (c) in the case of a corner lot, that frontage which is the continuation of the front lot line of an abutting interior lot or if none those frontages which as front lot lines accord with the intent and purpose of yard requirements under this By-law.

"lot line, rear"

Means:

- (a) the lot limit which is most nearly parallel to the front lot line; or
- (b) any lot limit which is in whole or in part the rear lot line of an abutting lot and as a rear lot line accords with the intent and purpose of yard requirements or development standards under this By-law; or
- (c) in the case of a lot where the side lot lines intersect the rear lot line shall be deemed to be a line 10 feet in length, located within the lot, parallel to and at the maximum distance from the front lot line.

"lot line, side"

Means any lot limit which intersects with a front lot line and which is not a rear lot line in accordance with the intent and purpose of yard requirements under this by-law.

"lot width"

Means the horizontal distance between the side lot lines of a lot, measured at right angles to the lot depth at a point midway between the front and rear lot lines, or at fifty feet from the front lot line, and the lesser of these distances is the lot width.

“mural”

Means a graphic or message of a non-commercial nature. Includes vinyl building wraps, banners, paintings, and images in windows that cover over 50% of a glazed surface (measured between mullions).

added 34/2014

“OurWinnipeg”

Means the development plan adopted by Council in accordance with The City of Winnipeg Charter.

added 34/2014

“parapet”

Means a low wall at the edge of a roof; especially that part of an exterior wall that rises above the roof.

“Plan Winnipeg”

repealed 34/2014

“private approaches”

Means a roadway, culvert, crossing, or other structure heretofore or hereafter constructed, erected, installed, or maintained in a street between the property of an owner and the nearest curb or edge of a roadway in the said street, for the use or benefit of the owner or occupant of the property adjoining or connected therewith, but does not include a roadway or other structure constructed for such purpose within an alley.

“rear yard”

See “yard, rear”.

“secondary plan”

Provides such objectives and actions as Council considers necessary or advisable to address, in a neighbourhood, district, or area of the City, any matter within a sphere of authority of the City of Winnipeg, including, without limitation, any matter dealt with in *Plan Winnipeg* or pertaining to economic development or the enhancement or special protection of heritage resources or sensitive lands.

“side yard”

See “yard, side”.

“sign”

See Sign Definitions, section 700(4).

amended 206/2005

“square feet”

See “square foot”

By-law No. 100/2004

“square foot”

One Imperial square foot equals 0.0929 square metres.

“Standing Policy Committee on Property and Development

Means the standing policy committee of that name established by the City Organization By-law.
amended 48/2011; 106/2015; 137/2022

“storey”

Means that portion of any building which is situated between the surface of any floor and the surface of the floor next above it, and, if there is no floor above it, that portion between the surface of such floor and the ceiling above it, but does not include a basement or cellar.

“substantial adaptive reuse”

Includes redevelopment of existing buildings or structures, involving a change in use and usually involving significant structural alterations, the cost of which exceeds 50% of the building's or structure's assessed value on the last revised assessment roll. Such redevelopments include but are not restricted to residential reuse of former warehouse buildings, hotel reuse of former office buildings, and restaurant/drinking establishment reuse of former utility buildings. Does not include minor alterations to accommodate re-tenanting of existing buildings or structures.

“temporary building”

Means a building which, because of its nature, will exist for a short time under circumstances which warrant only selective compliance with the *Manitoba Buildings Code*. (See Winnipeg Building By-Law).

“universally accessible route”

Means a continuous path of travel not exceeding 5% longitudinal slope or 4% cross slope, unobstructed by vertical or overhanging elements.
added 34/2014

“Urban Agriculture, Indoor”

Means the cultivation of plants or animal products entirely within an enclosed building in accordance with applicable municipal, provincial and federal regulations, and includes the sale, storage, processing, packaging and composting of plants grown on site.
added 32/2021

“Urban Agriculture, Outdoor”

Means the outdoor cultivation of plants for human consumption or use in accordance with applicable municipal, provincial and federal regulations, and includes the sale, storage, processing and packaging of plants harvested on-site.
added 32/2021

"variance order"

Means an order in respect of an application for a variance. "Variance" means the modification of a provision of a zoning by-law.

"Weather Protected Walkway System"

Means the system of inter-connected, weather-protected, above- and below-ground walkway system designated by Council for public use during specified hours of operation.

"wind impact"

Means the generation and acceleration of intense wind drafts by tall buildings and structures in dense urban contexts, both through the effects of their own form and in relation to adjacent buildings and structures.

amended 206/2005

"yard"

Means an open area, on the same zoning lot with a building or structure, which yard is unoccupied and unobstructed from grade level to the sky, except as otherwise permitted. A yard extends along a lot line or wall and to a depth or width (measured from the lot line or wall) specified in the yard requirement for the sector in which such zoning lot is located.

"yard, corner side"

Means a side yard which adjoins a public road.

"yard, front"

Means an open area on a zoning lot which is clear from ground to sky, except as otherwise permitted, extending along the full length of the front lot line, the depth of which is measured perpendicularly to the front lot line.

"yard, rear"

Means an open area on a zoning lot which is clear from ground to sky, except as otherwise permitted, extending along the full length of the rear lot line, the depth of which is measured perpendicularly to the rear lot line.

"yard, side"

Means an open area on a zoning lot which is clear from ground to sky, except as otherwise permitted, extending along the full length of the side lot line between the front yard and rear yard, the depth of which is measured perpendicularly to the side lot line.

Zoning Compliance Certificate

Means a certificate issued by the Director that confirms any one or more of the following, subject to such proof as the Director deems necessary, as of the date of that certificate:

- (a) the described use or uses operated or proposed to be operated on the lot comply with the applicable zoning rules, agreements and orders;

- (b) the development on the lot complies with all zoning rules, agreements and orders affecting it; and
- (c) the location of the building or buildings on the lot complies with the applicable zoning rules, agreements and orders.

“zoning lot”

See “lot, zoning”.

Zoning Memorandum

Means a document indicating that a buildings or structure complies or does not comply as to its location on a zoning lot.

700(3) Use Definitions:

“adult entertainment”

Means an establishment where any exhibition, display, dance, or service, or the sale or rental of products that involve the presentation or exposure to view of any portion of the female breast below the top of the areola, male genitals, female genitals, or the pubic hair, anus, or cleft of the buttocks of any person, or male genitals in a discernibly turgid state even if completely and opaquely covered but does not include establishments licensed by the Manitoba Liquor Control Commission, or an “x-rated store”.

amended 34/2014

“amusement establishment, indoor”

Means a commercial establishment designed and equipped for assembly occupancy uses for the conduct of sports, exercise, and/or leisure-time activities within a fully enclosed building, uses of which include: arcade games, billiards, bingo, bowling, skating/roller rinks, go kart tracks, shooting ranges, and paintball arcades, and related amusements.

added 206/2005; amended 34/2014

“auditorium/concert hall/theatre/cinema”

Means a place devoted to showing motion pictures or dramatic, dance, musical, or other live performances.

“banquet hall”

Means any building or portion of a building that is hired or rented for wedding receptions, private banquets, socials, or other functions to which the public is not admitted and to which no direct fee is charged for admission.

amended 34/2014

“bee colony”

Means a cluster of worker bees with a queen bee and drone bees living together in a beehive.

added 15/2016

“beehive”

Means a receptacle constructed and used for housing a bee colony.

added 15/2016

“beekeeping yard”

Means a place where one or more beehives are kept.

added 15/2016

“body rub parlour”

means any premises, or part of any premises, where more than one individual carries on the business of a body rub practitioner;

added 34/2014; amended 21/2022

“body rub practitioner” means an individual who provides or offers to provide massages for a fee but does not include an individual who provides or offers to provide massages in the course of his or her practice as one of the following:

added 21/2022

- (a) a “regulated member” as defined in The Regulated Health Professions Act, C.C.S.M., c. R117 or a health professional whose practice is governed by an Act set out in Schedule 2 of that Act;
- (b) a massage therapist;
- (c) an individual who carries on a business or occupation which is limited exclusively to massaging the feet, hands, head or face;
- (d) a Provincially-certified esthetician who administers massages as part of a skin care treatment, where the massage is for the purposes of product application and is a minor or incidental and secondary part of the treatment; or
- (e) a member in good standing of an exempt organization;

“business support services”

Means commercial uses intended to support the business needs in the area. Such uses include but are not limited to copy shops, mail centres, employment agencies, small business machine repair, and technical support centers.

“call centre”

Means a building or a portion of a building wherein workers provide support services to offsite customers primarily via telephone interactions. Services to customers are not typically available on a walk-in or over-the-counter basis. Distinct from “office” uses on the bases of multiple-shift operations (typically 24-hour, Sunday to Monday) and floor space configurations that typically involve dense staff concentrations in comparatively smaller work area.

"care home"

Means a dwelling used for the boarding or other residential accommodation plus care or treatment of not more than six persons, in which care or treatment is not provided to any persons not resident in the care home.

"commercial bakery"

Means an establishment engaged in the preparation of baked goods, primarily for distribution and consumption off site, exceeding 5,000 square feet in production area. May also include incidental "retail sales" directly to a consumer.

"commercial laundry"

Means an establishment engaged in dry-cleaning, laundry, and linen services, exceeding 5,000 square feet in production area. Includes pressing, repair, and dry-cleaning, primarily for pick-up from and distribution to customers located off site. May also include incidental "personal services" directly to a consumer.

"commercial marina"

Means a facility for the storage, launching, mooring, and incidental repair of boats, for which fees are charged.

"Communication facility"

Means a range of wireless communication facilities, including freestanding and building-mounted cellular and personal cellular service (PCS) providers and other point-to-point and point-to multi-point wireless communication facilities including radio and television broadcasting, using a variety of technologies.

added 49/2010

"community/recreation centre/primarily participant"

Means development for recreational, social, or multi-purpose use where patrons are primarily participants and any spectators are incidental and attend on a non-recurring basis. Typical uses include recreation and leisure centres, hockey and skating rinks, curling rinks, swimming pools, bowling alleys, racquet clubs, rifle and pistol ranges, community halls, and community centres.

amended 206/2005

"convention centre/exhibition hall"

Means a development which is owned and managed by a public authority or non-profit agency and provides permanent facilities for meetings, seminars, and conventions; product and trade fairs; and other exhibitions.

"craft brewery/distillery/winery"

Means a facility that possesses the appropriate license(s) issued by the Province of Manitoba to allow it to produce onsite, sell, and distribute beer, wine or other liquor or distilled spirits. All processes, functions and mechanical equipment directly associated with the production of beer, wine or other liquor must be contained inside a building. A tasting room established in accordance with all Province of Manitoba regulations and licensing requirements for the consumption of beer, wine or other liquor may form part of the craft brewery, distillery or winery.

added 17/2018

"cultural centre"

Means a building or portion of a building dedicated to the celebration and promotion of a cultural group or groups. Distinct from "private club" on the basis of the range of uses typically available to customers and guests (including restaurants, retail sales, personal services, theatres, and banquet halls), who are not required to be members of a non-profit organization incorporated as such by the Government of Canada or the Government of Manitoba.

"dance hall"

Means any building, room or portion of a building which is used for dancing and to which an admission is charged or at which any fee or monetary contribution is received from persons in attendance but does not include

amended 34/2014

- (a) a "school"

amended 34/2014

- (b) a "community/recreation centre/primarily participant" where the only dances permitted or conducted in that building relate to the activities of the school or the community centre or are for a charitable object; or

amended 34/2014

- (c) space where dancing is permitted within a "restaurant", "hotel", "banquet hall" or "studio for artists/dancers/designers/musicians/photographers".

amended 34/2014

"dating & escort service" means

amended 34/2014; 21/2022

- (a) a person who offers to arrange or arranges an introduction between an escort and another person or arranges an escort to provide a date or a period of companionship for another person;
- (b) a person who is the registered user of a telephone number or cellular phone number that is advertised as the number to telephone to arrange an introduction with an escort;

- (c) a person who pays for, places or arranges an advertisement in any media offering to arrange an introduction with an escort; or
- (d) a person who operates an internet website promoting an escort service or offering to arrange an introduction with an escort;

“daycare”

Means an establishment providing for the care, supervision, and protection of children and adults, but does not include medical treatment or overnight supervision.

“dormitory”

Means a building designed for or used as group living quarters for students of a school, and owned or managed by that school.

“drinking establishment”

Means an establishment, licensed by the Government of Manitoba, where the primary purpose of the establishment is the sale of alcoholic beverages to the public, for consumption on the premises. This use typically has a limited food menu and typically prohibits minors from patronizing the establishment during at least some portion of the hours of operation. Also includes “private club”, when licensed. Does not include licensed “restaurant”.

“drive-in/drive-through”

Means any use, except “fuel sales” stations, designed or operated to allow patrons, while outdoors on the premises in motor vehicles, to order, request, exchange, donate, or receive goods, wares, merchandise, products, foods, beverages, or services.

“dwelling or dwelling unit”

Means a building or portion thereof designed or used for residential occupancy by a single family, including cooking, eating, living, sanitary, and sleeping facilities.

amended 206/2005

“emergency residential shelter”

Means a building where emergency temporary lodging is provided to persons who are homeless, and where on-site supervision is provided whenever such shelter is occupied.

“escort” means an individual who charges or receives a fee for:

added 21/2022

- (a) acting as a date; or
- (b) providing personal companionship for a limited period of time;

but does not include a person who provides care, supervision or assistance to children or to another person because of that other person’s advanced age or mental or physical disability;

“fee” includes any valuable consideration;
added 21/2022

“fuel sales”

Means a business establishment operated at a fixed location at which gasoline or any other motor vehicle engine fuel is offered for sale.

“home occupation”

Means a use operated only by one or more residents of a dwelling unit, accessory to that dwelling unit, and without the employment of any other person.

“hospital, including overnight accommodations”

Means an institution that maintains and operates facilities for inpatient medical care, including x-ray, laboratory, and surgical, for the diagnosis, care, and treatment of human illness, injury, and disease (physical or mental). Outpatient care may also be provided.

“hostel”

means a dwelling where sleeping accommodations and shared cooking facilities are rented and no individual is allowed to rent sleeping accommodations for a period of more than 28 consecutive days but does not include:

amended 34/2014; 53/2021

- (a) a facility licensed or otherwise regulated in its provision of accommodations by the Government of Manitoba or the Government of Canada;
- (b) a hospital, a sanatorium or a facility designated by regulations under The Mental Health Act;
- (c) a personal care home licensed under The Health Services Insurance Act;
- (d) a residential care facility licensed under The Social Services Administration Act;
- (e) a shared facilities dwelling or a short term rental accommodation.

amended 106/2023

“hotel”

Means a building or portion thereof wherein temporary accommodation is provided in individual guest rooms or suites for transient lodgers, without provision for cooking in any individual guest room or suite, and in which services are provided for the occupants, which may include linen/housekeeping services, meeting rooms, ballrooms, beverage rooms, and food services including dining rooms.

“live-work unit”

Means a residential dwelling unit that includes working space accessible from the living area, reserved for and regularly used by one or more residents of the dwelling unit, but does not include “home occupations”. Working space may exceed 400 square feet and may be used for “retail sales”, “personal services”, “medical/ dental/optical / counselling clinic”, “studio for artists/dancers designers /musicians /photographers, including production from finished materials”, “office”, and “school”.

“loading aisle”

Means that portion of a loading facility that provides vehicular access to a loading space, not directly from a driveway. May be shared with a parking aisle.

“loading driveway”

Means that portion of a loading facility that provides vehicular access from a public right-of-way to a loading space. May be shared with a parking driveway.

“loading facility”

Means an open area of land or an area within a structure, not including within a public right-of-way, used for the loading and unloading materials, merchandise, or people from motor vehicles.

“loading space”

Means that portion of a loading facility, excluding vehicle manoeuvring areas such as aisles and driveways, that will accommodate one motor vehicle.

“manufacture/assembly/repair/packaging of products from prepared materials, entirely within an enclosed building”

Means product assembling or mixing, where previously processed components or manufactured parts produced off-site are fitted together into a complete machine or blended together to form a non-combustible and non-explosive product. Product packaging includes bottling, canning, packing, wrapping, and boxing of products assembled or manufactured off-site. The assembling or packaging shall not produce noise, vibration, hazardous waste materials, or particulate that creates significant impacts to adjacent land uses. Odours produced on-site shall not negatively affect other businesses or properties in the area. Examples of assembly include, but are not limited to, the production of the following: clothes; furniture (where wood is milled off-site); pharmaceuticals, hardware; toys; mechanical components; electric or electronic components; small vehicle assembly; and computer software. Examples of packaging include facilities for bottling beverages, canning and wrapping foods, and boxing electronic components.

“massage parlour”

repealed 34/2014

“medical/dental/optical/counseling clinic”

Means a facility for the provision of human health services without overnight accommodations for patients. Includes accessory laboratory facilities.

“micro-brewery/winery/distillery”

Means a small brewery, winery, or distillery operated in conjunction with a “drinking establishment” or “restaurant”, provided the beer, wine, or liquor is sold for consumption onsite or off the premises and is not sold to other drinking establishments, restaurants, or wholesalers.

“neighbourhood care home”

Means a buildings or portion thereof used for the boarding or other residential accommodation plus care or treatment of more than six but not more than twelve persons, in which care is not provided to any persons not resident in the care home.

“neighbourhood rehabilitation home”

Means a building or portion thereof used for the boarding or other residential accommodation plus mandatory supervision or treatment of not more than twelve persons who are from or discharged from any penal institution or who are receiving supervision or treatment for alcohol or other drug addictions, in which supervision or treatment is not provided to any persons not resident in the rehabilitation home.

“nucleus hive”

Means a beehive that is used intermittently for splitting a large colony or for raising and storing queen bees.

added 15/2016

“park”

Means development of public land specifically designed or reserved for the general public for active or passive recreational use and includes natural and manmade landscaping, facilities, playing fields, buildings, and other structures that are consistent with the general purposes of public parkland, whether or not such recreational facilities are publicly operated or operated by other organizations pursuant to arrangements with the public authority owning the park. Typical uses include totlots, band shells, picnic grounds, pedestrian trails and paths, landscaped buffers, playgrounds, and water features.

“parking aisle”

Means that portion of a parking facility that provides vehicular access to a parking space, not directly from a driveway or public right-of-way.

amended 206/2005

“parking driveway”

Means that portion of a parking facility that provides vehicular access from a public right-of-way to a parking aisle or parking space.

amended 206/2005

“parking facility”

Means an open area of land or an area within a structure, not including within a public right-of-way, used for the parking of motor vehicles.

“parking space”

Means that portion of a parking facility, excluding vehicle manoeuvring areas such as aisles and driveways, that will accommodate one motor vehicle.

“pawnshop”

Means a place where money is loaned on security of personal property left in pawn and pledged as collateral for the loan and where such property may be redeemed by the seller in a fixed period of time or sold to the general public.

“personal services”

Means establishments which provide non-medical services of a retail character to patrons that may involve the sale of goods associated with the service being provided. These establishments include beauty or barber shops, shoe repair shops, self-service laundries, tanning salons, tailoring establishments, interior decorating, clothing rental, portrait photography, and diet and weight reduction centres.

“power station, electrical/heating/cooling/communications distribution facility”

Means power or communications stations, substations, and associated facilities and equipment as the principal use of a building or site. Does not include wastewater treatment, landfill, public works yard, or refinery facilities.

“printing/publishing”

Means the use of premises for printing, lithographing, blueprinting, or silkscreen printing; for platemaking or engraving as allied to the printing or publishing industries; for the publishing and printing of newspapers, magazines, periodicals, books, almanacs, maps, guidelines, pamphlets, flyers, or similar matter; or for book-binding and associated binding operations as allied to the printing or publishing industries.

“private club, not licensed”

Means a non-profit organization incorporated as such by the Government of Canada or the Government of Manitoba. Includes facilities used for the meeting, social, or recreational activities of non-profit philanthropic, social service, athletic, business, or fraternal organizations, without onsite residences. Private clubs may include rooms for eating, drinking, and assembly. When licensed for the sale of alcoholic beverages by the Government of Manitoba, such a club is considered a “drinking establishment”.

“protection & emergency services”

Means development that is required for the public protection of persons and property from injury, harm or damage together with the incidental storage of equipment and vehicles, which is necessary for the local distribution of utility services. Typical uses include police stations, fire stations, ambulance services, and ancillary training facilities.

“radio/television broadcast tower”

Means a tower supporting equipment used for radio or television broadcast facilities that is located on the ground or anchored to the ground and exceeds 24 feet in height, or is located on a building and exceeds the height of the building by 24 feet or more. Such a tower may have a variety of configurations, including but not limited to a monopole, a lattice tower, or a guyed tower. Such a tower is typically associated with a “studio, radio/television/motion picture broadcast and production” use.

“research institution”

Means a establishment or facility engaged in scientific research, product design, development and testing, and limited manufacturing necessary for the production of prototypes.

“restaurant”

Means any premises primarily engaged in the preparation of food intended to be sold to the public for consumption on the premises, which includes those licensed by the Government of Manitoba for the sale of alcoholic beverages to the public. Also includes off-site consumption.

“retail sales”

Means the sale of goods directly to the public.

“school”

Means a public or private educational facility. Includes elementary school, secondary school, technical vocational school, college, and university.

“short term rental accommodation” means a dwelling unit rented in whole or in part for a period of less than 30 consecutive days, but does not include a hostel or a hotel.

added 106/2023

“Single-room occupancy”

Means a building, other than a “hotel” or “hostel”, that provides living units with separate sleeping areas and some combination of shared bath or toilet facilities. The building may or may not have separate or shared cooking facilities for the residents. Single-room occupancy includes uses commonly called “rooming houses”, “boarding houses”, and “apartment hotels”.

“sports & entertainment arena/stadium, primarily spectator”

Means development that provided facilities within an enclosed or unenclosed building specifically intended for public sports, concerts, circuses, and theatrical productions, where patrons attend on a recurring basis.

“studio for artist/dancer/designer/musician/ photographer, including production from prepared materials”

Means development used by an artist, artisan, dancer, designer, musician, or photographer as a place of work, including those engaged in the application, teaching, or performance of fine arts, such as but not limited to drawing, vocal or instrumental music, painting, sculpture, film developing, and writing.

“studio, radio/television/motion picture broadcast & production”

Means the use of premises for the production of motion pictures, videos, television programs, radio programs, or sound recordings. May also include facilities for the rehearsal of dance, music, or other performing arts.

“warehouse, entirely within an enclosed building”

Means the use of a building or portion thereof for the storage and distribution of materials, goods, or products.

“wholesale sales”

Means development used for the wholesale or retail sale of a limited range of bulky goods from within an enclosed building where the size and nature of the principal goods being sold typically require large floor areas for direct display to the purchaser or consumer. Includes developments where principal goods being sold are such bulky items as furniture, carpet, major appliances and building materials.

“wireless telecommunications tower”

repealed 49/2010

“x-rated store”

Means any store that offers for purchase or rental merchandise including sexually oriented films, videotapes or videodiscs, and by storefront or internal signage excludes persons under 18 years of age from the store.

amended 34/2014

700(4) Sign Definitions:

“advertising sign”

Means a sign or billboard directing attention to a business, commodity, service, thing, message, or entertainment conducted, sold, or offered elsewhere than upon the same zoning lot on which the sign is located.

“copy”

Means a letters, graphics, or characters that comprise the sign message.

“copy area”

Means the area of sign covered by a single rectangle drawn around the extremities of the message contained on the sign and, in the case of a multi-face sign, comprised half of the total area of all sign faces.

“digital sign”

Means a sign with changeable or animated copy displayed utilizing electronic screens, televisions, computer video monitors, liquid crystal displays, light emitting diode displays, or any other electronic technology, and may be incorporated within any of the Sign Forms described below.

added 34/2014

“sign”

Includes any writing (including letter, word, or numeral), pictorial representation (including illustration or decoration), emblem (including device, symbol, logo, or trademark), flag (including banner or pennant but not the flag of any nation or government), and anything designed or intended to, or having the effect of, announcing, identifying, directing attention to, or advertising any building or use.

“temporary sign”

Means a sign which is not in a permanently installed or affixed position, identifying a product, merchandise, or activity on a limited basis.

Sign Types:

“building identification sign”

Means a sign that identifies a building by name, logo, or street address. In order to distinguish building identification signs from use identification signs, a building is limited to one name, logo, or street address.

“directional sign”

Means a sign that indicates access to or egress from a parking or loading facility.

“event sign”

Means a sign that promotes an event scheduled for a venue located on the same property or promotes informational or cultural content associated with a cultural or entertainment entity on the same property. May include third-party sponsor’s content constituting no more than 10% of display time or copy area. Event signs are associated with “Cultural & Entertainment” use category only.

amended 34/2014

“parking instructions sign”

Means a sign that indicates instructions for the use of a parking facility, including operator name or log, rates, and hours of operation.

“use identification sign”

Means a sign that identifies a business, service, institution, owner, or resident by name, logo, street address, or combination and which may direct attention to a business, service, or commodity conducted, offered, or sold on the same lot.

Sign Forms:

“awning sign”

Means an awning that incorporates a sign painted on, or affixed flat to the surface of the awning and which does not extend vertically or horizontally beyond the limits of such awning. An “awning” means a shelter projecting from and supported by the exterior wall of a building and designed to be collapsible, retractable, and generally constructed of fabric or similar non-rigid material.

“canopy sign”

Means a canopy which utilizes or incorporates a sign. A “canopy” means any roof-like structure projecting more than 1.5 feet from the face of a building having a rigid frame, and attached to said building in such a manner as not to become an integral part thereof.

“fascia sign”

Means a sign, or individual letters attached to, marked, or inscribed on, or erected or placed against a wall, whether forming part of a building or not, and having the exposed face of the sign on a space approximately parallel to the plane of such wall and projecting not more than 1.5 feet from the face of such wall.

“ground-oriented sign”

Means a free-standing sign that is 4 feet or less in height above ground level, and is not erected on one or more poles or similar supports, but erected to rest on and be permanently affixed to the ground or to rest on a monument base designed as an architectural unit with the sign.

amended 34/2014

“marquee sign”

Means a sign attached to a marquee. A “marquee” means any roof-like structure constructed and erected as a permanent part of the building over an entrance thereto, and projecting more than 1.5 feet from the exterior wall of the building.

“podium sign”

Means a sign attached to a podium. A “podium” means a building base or low wall serving as a raised foundation or terrace wall; an integral part of the building or buildings.

“portable sign”

Means a sign not permanently attached to the ground, a podium, or a building. Includes A-frame, sandwich boards, and portable readerboards.

“projecting sign”

Means a sign, other than an awning, canopy, or marquee sign, the exposed face or faces of which are not necessarily parallel to a wall and which is attached to a building and extends as a projection of a line that building or beyond the surface of that portion of the building to which it is attached for a distance exceeding 1.5 feet.

amended 206/2005

By-law No. 100/2004

“projection sign”

Means a sign image or message in light on a building surface created by a projector on the same property or an adjacent property. May be static or animated.

added 34/2014

“pylon sign”

repealed 34/2014

“roof sign”

Means a sign erected, constructed, and maintained wholly upon or over the parapet of a building with the principal support on the roof structure.

“window sign”

Means a sign painted on, attached to, or installed on or within a window, for the purpose of being viewed from outside the premises.

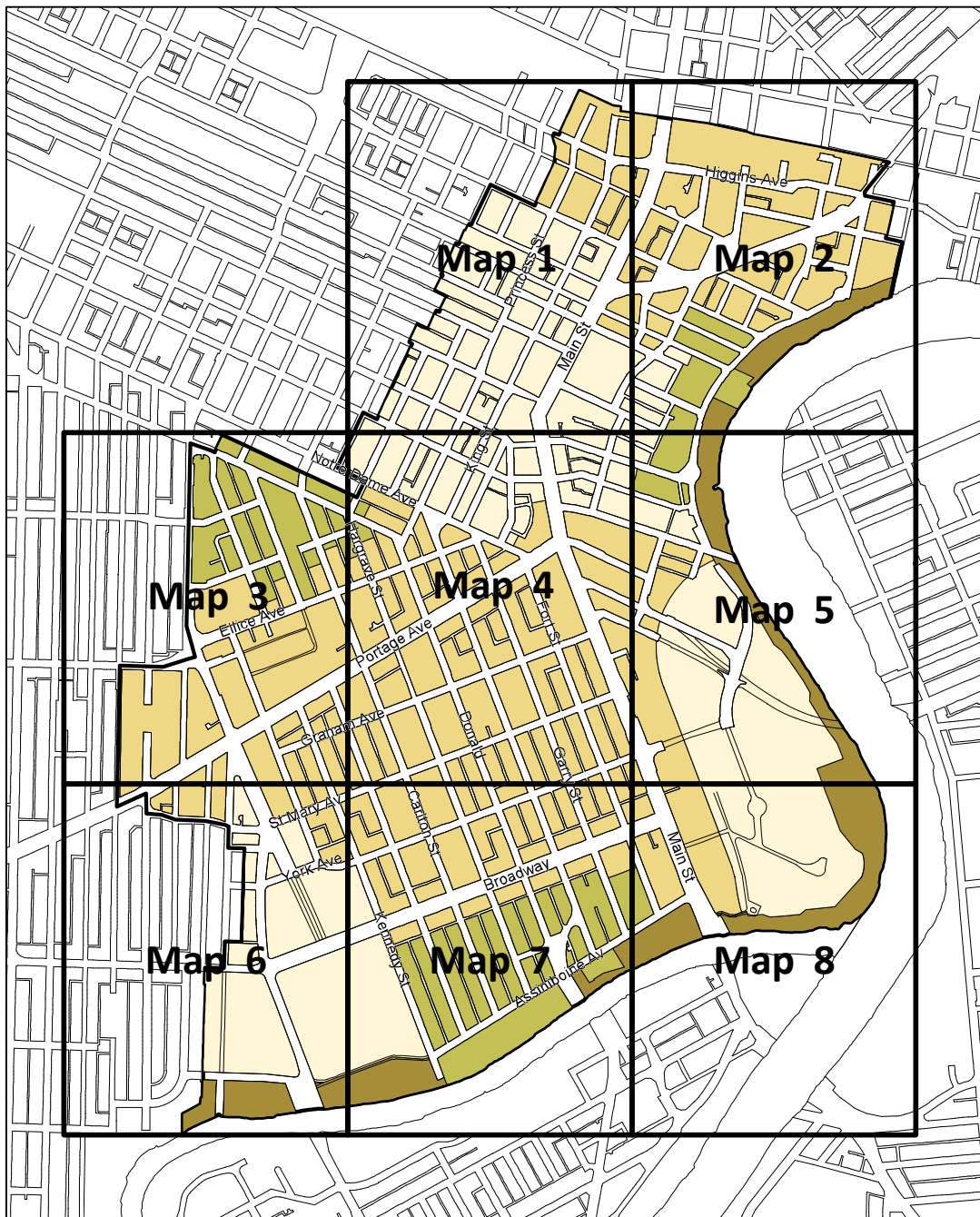
PART 8:

ZONING MAPS

Zoning Maps

1. The location and boundaries of the sectors set out in subsection 100(3) are shown on the Zoning Maps in this Part.

added 82/2010



Part 8: Zoning Maps
Keymap
By-Law No. 100/204





Part 8: Zoning Maps
Map 1
By-Law No. 100/204



Multiple-Use Sector



Character Sector



Downtown Living Sector



Riverbank Sector

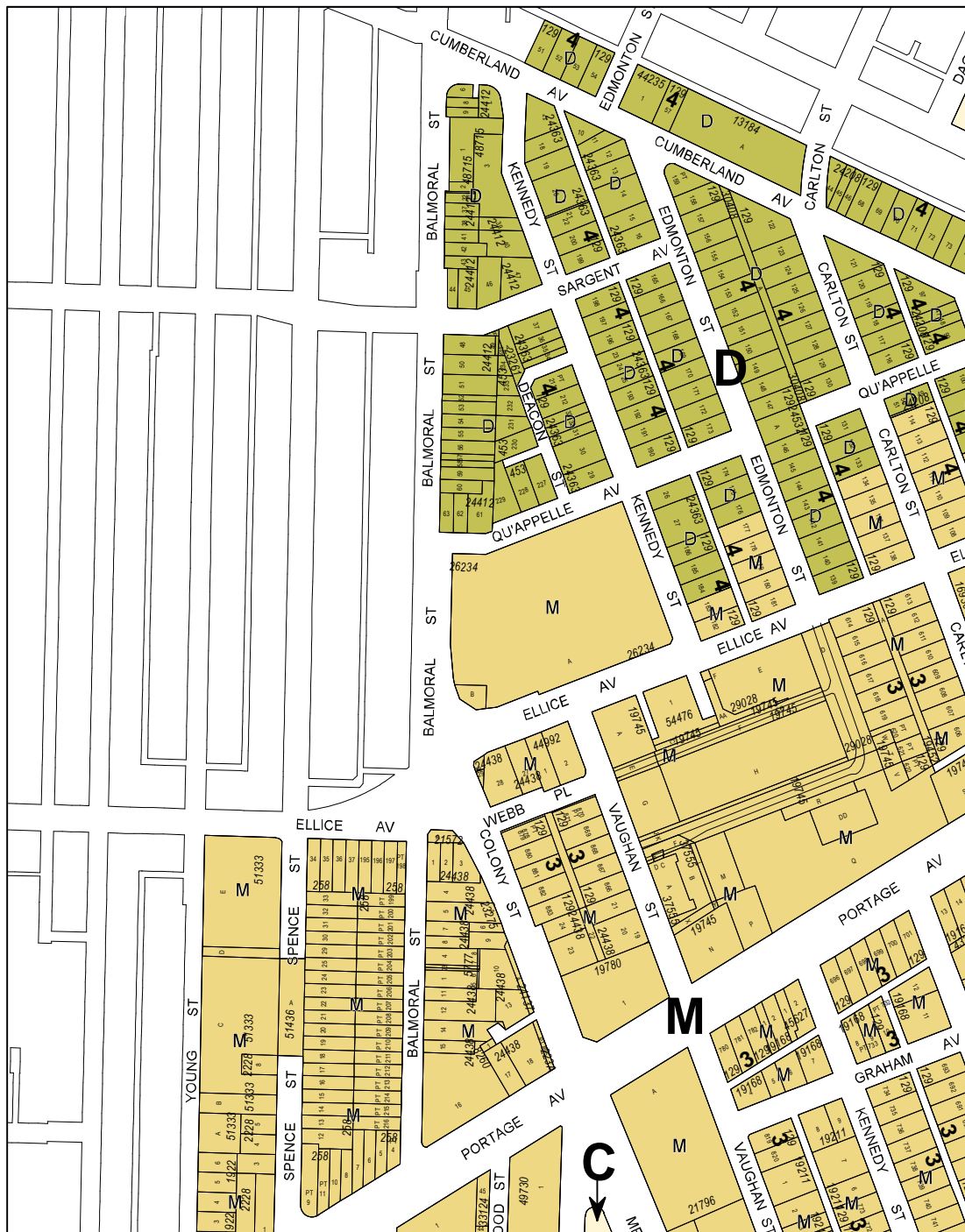




Part 8: Zoning Maps
Map 2
By-Law No. 100/204

M	Multiple-Use Sector	D	Downtown Living Sector
C	Character Sector	R	Riverbank Sector





Part 8: Zoning Maps
Map 3
By-Law No. 100/2004

M	Multiple-Use Sector	D	Downtown Living Sector
C	Character Sector	R	Riverbank Sector

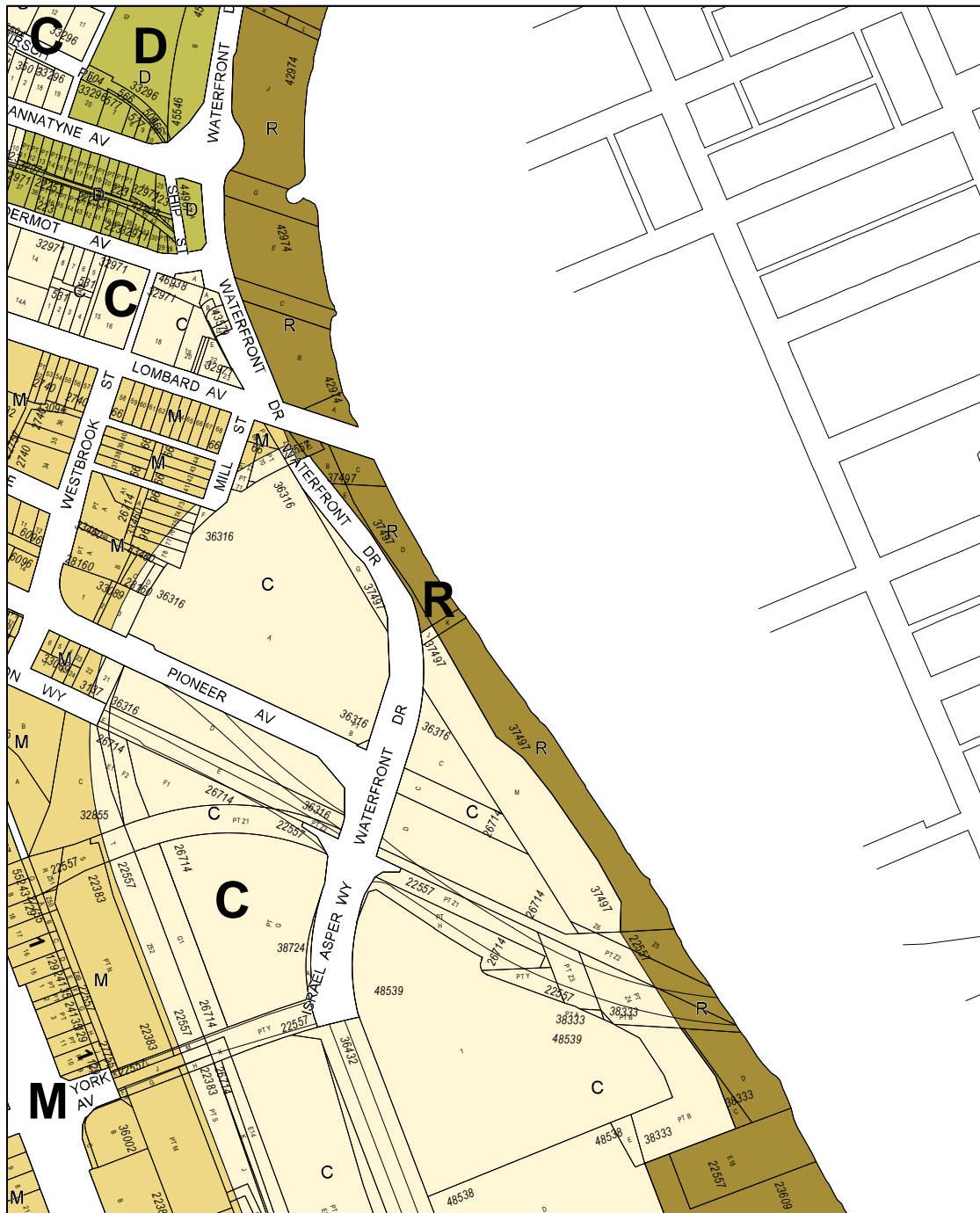




Part 8: Zoning Maps
Map 4
By-Law No. 100/204

M	Multiple-Use Sector	D	Downtown Living Sector
C	Character Sector	R	Riverbank Sector

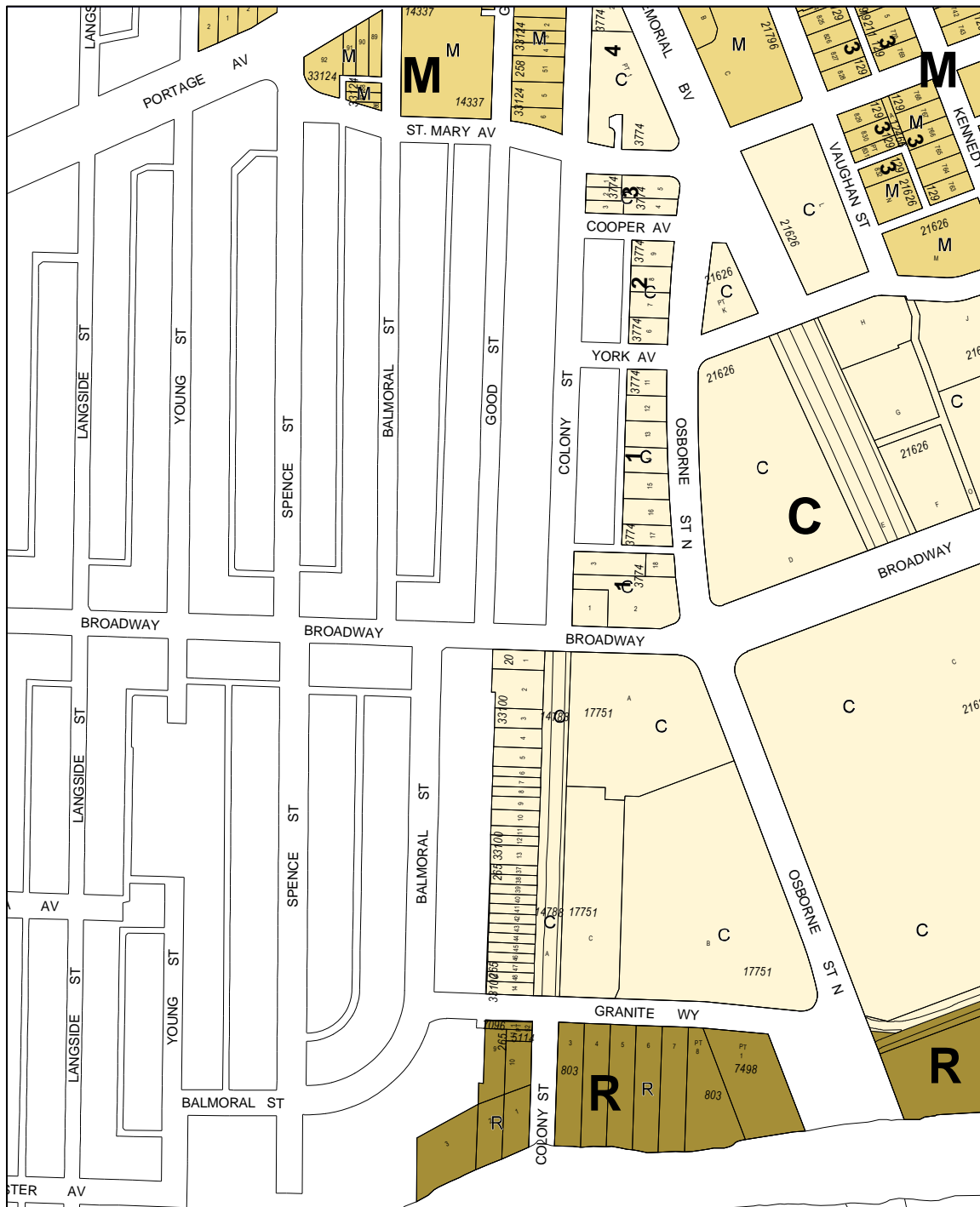




Part 8: Zoning Maps
Map 5
By-Law No. 100/204

M	Multiple-Use Sector	D	Downtown Living Sector
C	Character Sector	R	Riverbank Sector

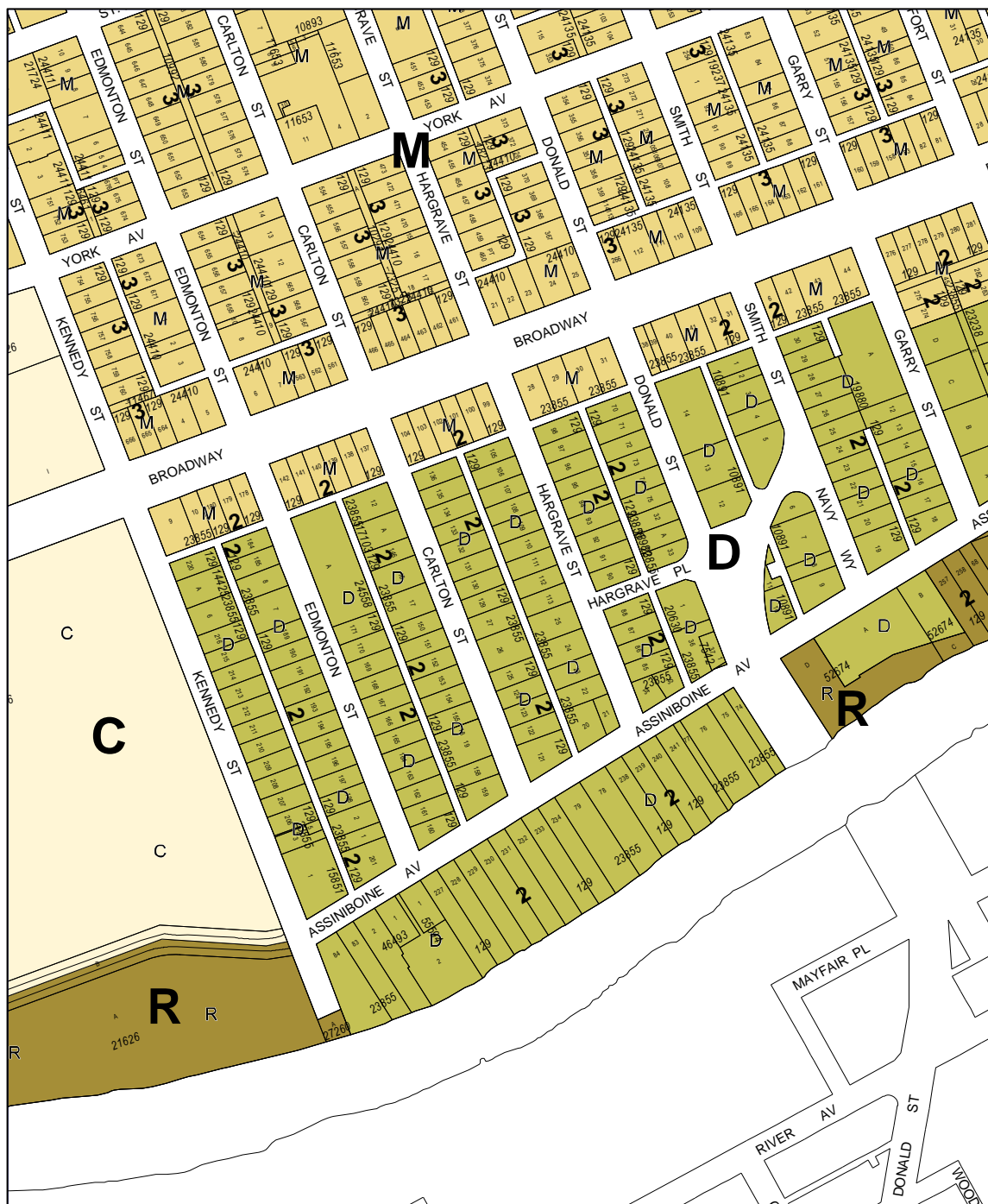




Part 8: Zoning Maps
Map 6
By-Law No. 100/204

M	Multiple-Use Sector	D	Downtown Living Sector
C	Character Sector	R	Riverbank Sector

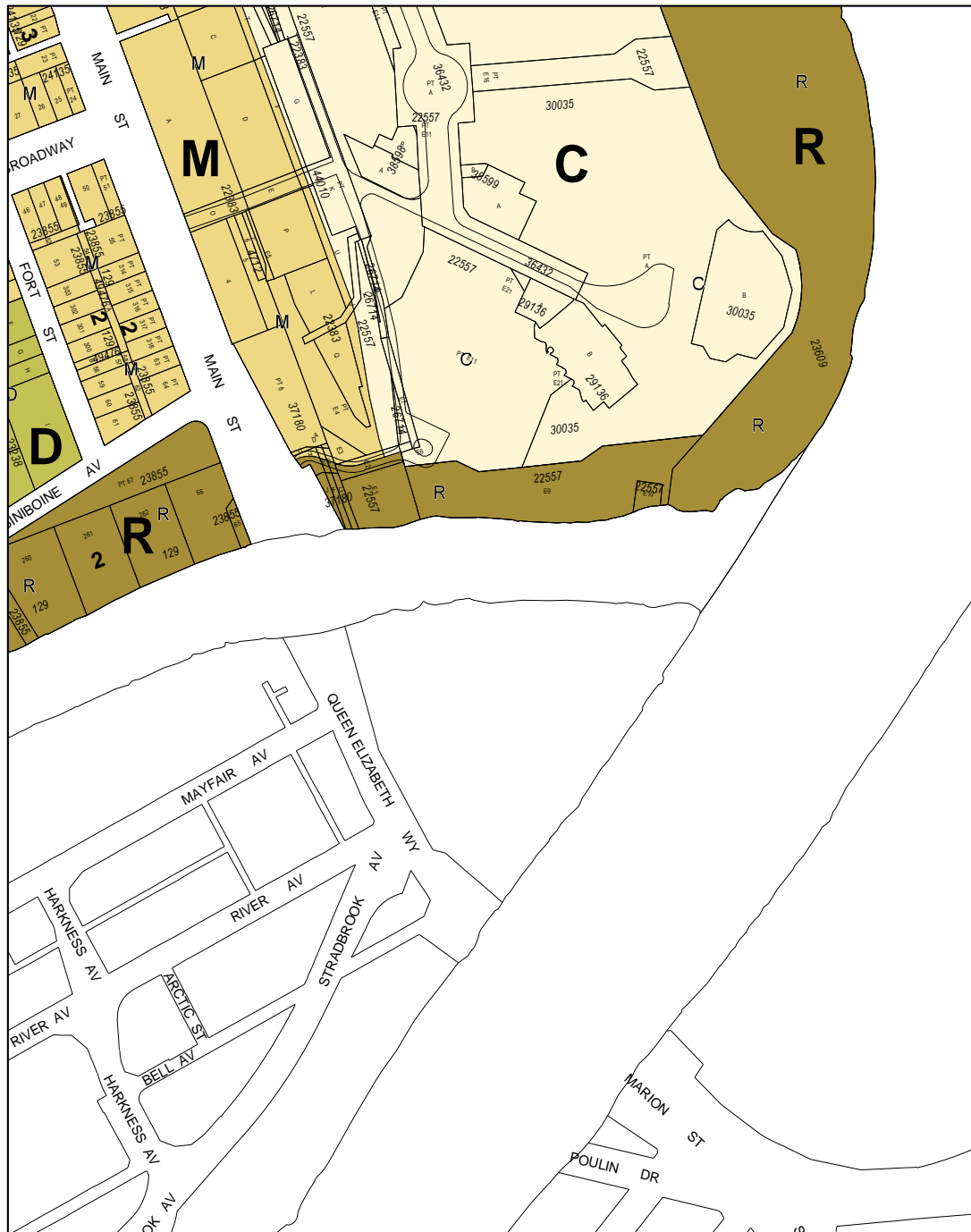




Part 8: Zoning Maps
Map 7
By-Law No. 100/204

M	Multiple-Use Sector	D	Downtown Living Sector
C	Character Sector	R	Riverbank Sector





Part 8: Zoning Maps
Map 8
By-Law No. 100/204



M Multiple-Use Sector



C Character Sector



D Downtown Living Sector



R Riverbank Sector





Part 8: Zoning Maps
By-Law No. 100/204

Building Height Control Area

Legislative Core - Winnipeg

Vertical Control Datum - Elevation 764.00 Geodetic

Vertical Control Angle - 11° 51' 10"

Horizontal Control Datum - Centre Line Dome of Legislative Building



By-law No. 100/2004

Zoning Map Amendments

2. The Zoning Maps are hereby amended as set forth in the following subsections.
added 82/2010

Sub-Section	File No.	Zoning Description	Sector	Amending By-law No.	Passed by Council
(1)	DASZ 37/2009	Rezoning of lands at 280, 290, 300 and 318 Assiniboine Avenue in Downtown Winnipeg.	D	82/2010	July 21, 2010
(2)	DASZ 8/2011	Rezoning of lands at 333 Waterfront Drive in the Lord Selkirk-West Kildonan Community.	D	85/2012	June 27, 2012
(3)	DAZ 231/2015	Rezoning of lands at 125 Pacific Avenue – Lord Selkirk-West Kildonan Community.	C	80/2016	June 15, 2016

APPENDICES

Appendices

This section includes information for illustrative purposes only. The tables, maps, and illustrations in this section do not form part of the Downtown Winnipeg Zoning By-law.

Sector Comparative Tables for Land Use, Bulk and Signs:

LAND USE COMPARATIVE TABLE

amended 17/2018; 106/2023

"P" - permitted use
 "C" - conditional use
 "A" - accessory use
 " - " - not permitted use

USE CATEGORIES & USES	MULTIPLE-USE SECTOR*	CHARACTER SECTOR	DOWNTOWN LIVING SECTOR	RIVERBANK SECTOR
RESIDENTIAL & RESIDENTIAL RELATED				
Dwelling	P*	P**	P	-
Care home	P*	P**	P	-
Neighbourhood care home	P*	P**	P	-
Dormitory	P*	P**	P	-
Single-room occupancy	P*	C	C	-
Short Term Rental Accommodation	P	P	P	-
Live-work unit	P***	P***	P***	-
* - conditional if located at-grade or if adjacent to the following public roads: Main Street, Portage Avenue, Graham Avenue, Broadway ** - conditional if located at-grade, adjacent to the following public roads: Main Street, Osborne Street, Memorial Boulevard, Broadway *** - conditional if not directly accessible from street level or if exceeding 3000 sq ft of floor area				

COMMERCIAL SALES & SERVICE				
Retail sales	P*	P**	P**	A to Park uses
Wholesale sales	P*	P**	C	-
Personal services	P*	P**	P**	A to Park uses
Business support services	P*	P**	P**	-
Medical/dental/optical/counseling clinic	P*	P**	P**	-
Veterinary, not including kennel	P*	P**	P**	-
Bank/financial service	P*	P**	P**	-
Private club, not licensed	P*	P**	P**	-
Hostel	P	P	C	-
Hotel	P	P	C	-
Restaurant	P*	P****	P**	A to Park uses
Drinking establishment	P*	P***	C	-
Studio for artists / dancers / designers / musicians / photographers, including production from finished materials	P*	P**	P**	A to Park uses
Billiard hall, primarily participant	P*	P****	C	-
* - conditional if located at ground level and not directly accessible from a public road ** - conditional if located at ground level and not directly accessible from a public sidewalk, or if floor area exceeds 5,000 square feet. *** - conditional if located at ground level and not directly accessible from a public sidewalk, if floor area exceeds 5,000 square feet, or if capacity exceeds 100 patrons. **** - conditional if located at ground level and not directly accessible from a public sidewalk, or if floor area exceeds 10,000 square feet.				

USE CATEGORIES & USES	MULTIPLE-USE SECTOR*	CHARACTER SECTOR	DOWNTOWN LIVING SECTOR	RIVERBANK SECTOR
OFFICE				
Office	P	P	P	A to PR uses
Call centre	P	P*	C	-
* - conditional if located at-grade or if adjacent to any public road				

PRIVATE MOTOR VEHICLE-RELATED Auto/light truck/ motorcycle Rental & sales, entirely within enclosed building	P	C	-	-
Auto/light truck/ motorcycle repair & service, entirely within enclosed building	C	C	-	-
Fuel sales	C	-	-	-
Drive-in, Drive-through	C	-	-	-
Parking, non-accessory offstreet at grade	C	C	C	-
Parking, non-accessory offstreet above/below grade	P	P	P	-

TRANSPORTATION, UTILITY, & COMMUNICATIONS Power station, electrical / heating / cooling / communications distribution facility	P	P	P	-
Bus depot	C	C	-	-
Train station	C	C	-	-
Commercial marina	P	C	C	C
Radio/television broadcast tower	P	C	C	-
Wireless communications tower	P	C	C	-
Loading, non-accessory	C	C	C	-

PUBLIC & INSTITUTIONAL Church/religious institution	P	P	P	-
School	P	P	P	-
Daycare	P	P	P	-
Community/recreation centre, primarily participant	P	P	P	P
Courthouse	P	P	C	-
Jail/detention centre	P	P	-	-
Neighbourhood rehabilitation home	C	C	C	-
Emergency residential shelter	C	C	C	-
Library	P	P	P	-
Hospital, including overnight accommodations	P	C	C	-
Protection & emergency services	P	C	C	-
Research institution	P	C	C	-

USE CATEGORIES & USES	MULTIPLE-USE SECTOR*	CHARACTER SECTOR	DOWNTOWN LIVING SECTOR	RIVERBANK SECTOR
CULTURAL & ENTERTAINMENT				
Auditorium / concert hall / theatre / cinema	P	P	C	C
Convention centre/exhibition hall	P	C	-	-
Amusement enterprise	P	P	-	-
Casino	P	C	-	-
Cultural centre	P	P	C	-
Gallery, primarily spectator	P	P	P	A to PR uses
Museum	P	P	P	A to PR uses
Sports & entertainment arena / stadium, primarily spectator	P	C	-	-
Studio, radio/TV/motion picture broadcast & production	P	P	-	-
Dance hall	P	P*	C	-
Banquet hall	P	P*	C	-
* - conditional if located at ground level and not directly accessible from a public sidewalk, if floor area exceeds 5,000 square feet, or if capacity exceeds 100 patrons.				

PARK & PARK-RELATED				
Park/plaza/square/playground, public access	P	P	P	P
Trail/walkway, public access	P	P	P	P
Boat dock, public access	P	P	P	P

LIGHT INDUSTRIAL				
Manufacture / assembly / repair / packaging of products from prepared materials, in enclosed building	P	P	-	-
Warehouse, entirely within enclosed building	P	P	-	-
Printing/publishing	P	P	C	-
Commercial laundry/dry-cleaning plant	C	C	-	-
Craft brewery/distillery/winery	C	C	-	-
Commercial bakery	C	C	-	-
Recycling centre	C	C	-	-

USE CATEGORIES & USES	MULTIPLE-USE SECTOR*	CHARACTER SECTOR	DOWNTOWN LIVING SECTOR	RIVERBANK SECTOR
RESTRICTED				
Adult entertainment	C	C	-	-
X-rated store	P	C	-	-
Dating & escort service	C	C	-	-
Massage parlour	C	C	-	-
Pawnshop	C	-	-	-

ACCESSORY				
Parking, to all uses offstreet at-grade not exceeding greater of 10 parking spaces or 40% of lot area; to all uses offstreet above-or below-grade, no restrictions	A			A
Parking, to all uses offstreet at-grade not exceeding greater of 10 parking spaces or 40% of lot area*; to all uses offstreet above or below-grade, no restrictions		A*	A*	
Not exceeding lesser of 10 parking spaces or 20% of lot area in Exchange District National Historic Site		*	*	
Loading, to all uses	A			
Loading, to all uses not exceeding 20 feet wide X 30 feet long, unless entirely within building		A	A	A
Refuse storage, to all uses	A	A	A	A
Sign, to all uses	A	A	A	A
Home occupation, to Dwelling	A	A	A	-
Parish hall, to Church	A	A	A	-
Micro-brewery/winery/distillery, to Restaurant	A	A	A	-
Bakery, to Restaurant and Grocery	A	A	A	-
Beekeeping Yard	A	A	A	A

BULK COMPARATIVE TABLE

SECTOR	BUILDING HEIGHT MAXIMUM	FLOOR AREA RATIO MAXIMUM	YARDS	RESIDENTIAL USES INTERIOR SIDE YARDS* MINIMUM	RESIDENTIAL USES REAR YARDS** MINIMUM
BUSINESS general	Not applicable	12	Not applicable	1-storey to 4-storey: 10 feet; 5-storey and above: 20 feet	20 foot
Portage Ave, Main St Properties	Not applicable	15	Not applicable	1-storey to 4-storey: 10 feet; 5-storey and above: 20 feet	20 foot
Broadway properties	Not applicable	12	12 foot minimum front/corner side yard (excluding canopies, stairs, podiums less than 4 feet high)	1-storey to 4-storey: 10 feet; 5-storey and above: 20 feet	20 foot
CHARACTER General	8 – storey	8	Not applicable	1-storey to 4-storey: 10 feet; 5-storey and above: 20 feet	20 foot
Warehouse portion properties	8 - storey	8	5 foot maximum front/corner side yard.***	1-storey to 4-storey: 10 feet; 5-storey and above: 20 feet	20 foot
Main St, Lombard Ave properties	12 storey	12	5 foot maximum front/corner side yard.***	1-storey to 4-storey: 10 feet; 5-storey and above: 20 feet	20 foot
Water Ave properties	Not applicable	12	Not applicable	1-storey to 4-storey: 10 feet; 5-storey and above: 20 feet	20 foot
DOWNTOWN LIVING general	Not applicable	8	Not applicable	1-storey to 4-storey: 10 feet; 5-storey and above: 20 feet	20 foot
Waterfront portion properties	8-storey	8	5 foot maximum front/corner side yard.***	1-storey to 4-storey: 10 feet; 5-storey and above: 20 feet	20 foot
RIVERBANK	4-storey	2	Not applicable	1-storey to 4-storey: 10 feet; 5-storey and above: 20 feet	20 foot
<p>* - no interior side yard is required when no doors, windows, or other openings are provided in the wall of the adjacent property</p> <p>** - 1-storey to 4-storey 20' minimum rear yard may be calculated from the building wall to the mid-point of an existing public road or lane</p> <p>*** - applies to minimum 50% of building wall length</p>					

SIGNS COMPARATIVE TABLE

USE IDENTIFICATION TYPE		MULTIPLE-USE			CHARACTER			DOWNTOWN LIVING		RIVERBANK
		BASIC	PORTAGE AVENUE, MAIN ST	BROADWAY	WAREHOUSE	LEGISLATURE	FORKS	BASIC	WATERFRONT	BASIC
Total Sign Volume Maximum		4 square feet per frontage feet	5 square feet per frontage feet	2 square feet per frontage feet	3 square feet per frontage feet	3 square feet per frontage feet	3 square feet per frontage feet*	2 square feet per frontage feet	3 square feet per frontage feet	2 square feet per frontage feet
Sign Form	Attached	All	All	All	All	All	All	All	All	All
	Free-standing	Podium, pylon, ground-oriented	Podium, pylon, ground-oriented	Podium, ground-oriented	None	Podium, ground-oriented	Podium, pylon, ground-oriented	Podium, ground-oriented	None	None
Sign Size Maximum		Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	32 square feet	Not applicable	32 square feet
Sign Structure Height Maximum, Free-Standing		25 feet	25 feet	10 feet	Not applicable	10 feet	25 feet	10 feet	Not applicable	Not applicable
Sign Location, Attached		1-and 2-storey building: below parapet	1-and 2-storey building: below parapet	1-and 2-storey building: below parapet	1-and 2-storey building: below parapet	1-and 2-storey building: below parapet	1-and 2-storey building: below parapet	1-and 2-storey building: below parapet	1-and 2-storey building: below parapet	1-and 2-storey building: below parapet
		3-storey and above building: below 2 nd storey ceiling	3-storey and above building: below 2 nd storey ceiling	3-storey and above building: below 2 nd storey ceiling	3-storey and above building: below 2 nd storey ceiling	3-storey and above building: below 2 nd storey ceiling	3-storey and above building: below 2 nd storey ceiling	3-storey and above building: below 2 nd storey ceiling	3-storey and above building: below 2 nd storey ceiling	3-storey and above building: below 2 nd storey ceiling
* - where property does not have frontage on a public road, 300 square foot total per building										
** - where property does not have frontage on a public road, 200 square foot total per building										

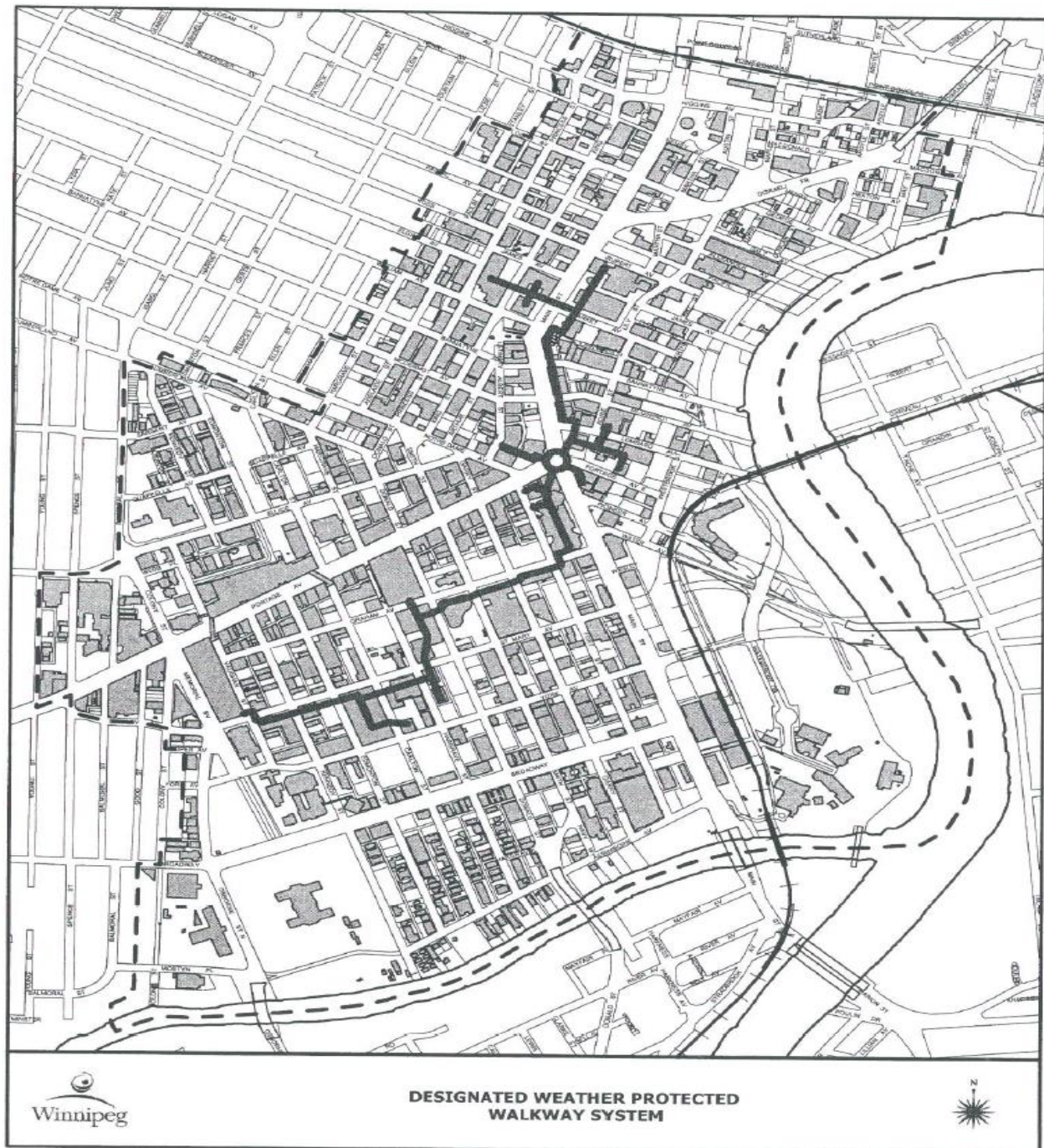
BUILDING IDENTIFICATION TYPE		MULTIPLE-USE			CHARACTER			DOWNTOWN LIVING		RIVERBANK
		BASIC	PORTAGE AVENUE MAIN STREET	BROADWAY	WAREHOUSE	LEGISLATURE	FORKS	BASIC	WATERFRONT	BASIC
Total Sign Volume Maximum		2% of building wall*	2% of building wall*	2% of building wall*	2% of building wall***	2% of building wall***	2% of building wall***	1.5% of building wall*****	2% of building wall***	1.5% of building wall*****
Sign Form	Attached	All	All	Fascia, projecting, marquee	All	All	All	Fascia, awning, canopy	All	Fascia, awning, canopy
	Free-standing	Podium, pylon, ground-oriented	Podium, pylon, ground-oriented	Podium, ground-oriented	Roof	Podium, ground-oriented	Podium, pylon, ground-oriented	Podium, ground-oriented	Roof	None
Sign Size Maximum		Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable
Sign Structure Height Maximum, Free-Standing		25 feet	25 feet	10 feet	10 feet above parapet	10 feet	25 feet	10 feet	10 feet above parapet	Not applicable
Sign Location	Attached	1 sign per building wall maximum**	Not applicable	1 sign per building wall maximum**	1 sign per building wall maximum**	1 sign per building wall maximum**	1 sign per building wall maximum**	1 sign per building wall maximum**	1 sign per building wall maximum**	1 sign per building wall maximum**
	Free-standing	1 sign per public road frontage maximum	1 sign per public road frontage maximum	1 sign per public road frontage maximum	1 sign per public road frontage maximum	1 sign per public road frontage maximum	1 sign per public road frontage maximum**	1 sign per public road frontage maximum	1 sign per public road frontage maximum	Not applicable
* - 64 square foot maximum sign size, when 2% of building wall calculation results in less than 64 square feet ** - does not apply to those signs located below 2 nd storey ceiling *** - 48 square foot maximum size, when 2% of building wall calculation results in less than 48 square feet **** - where property does not have frontage on a public road, 2 signs per building maximum ***** - 48 square foot maximum sign size, when 1.5% of building wall calculation results in less than 48 square feet										

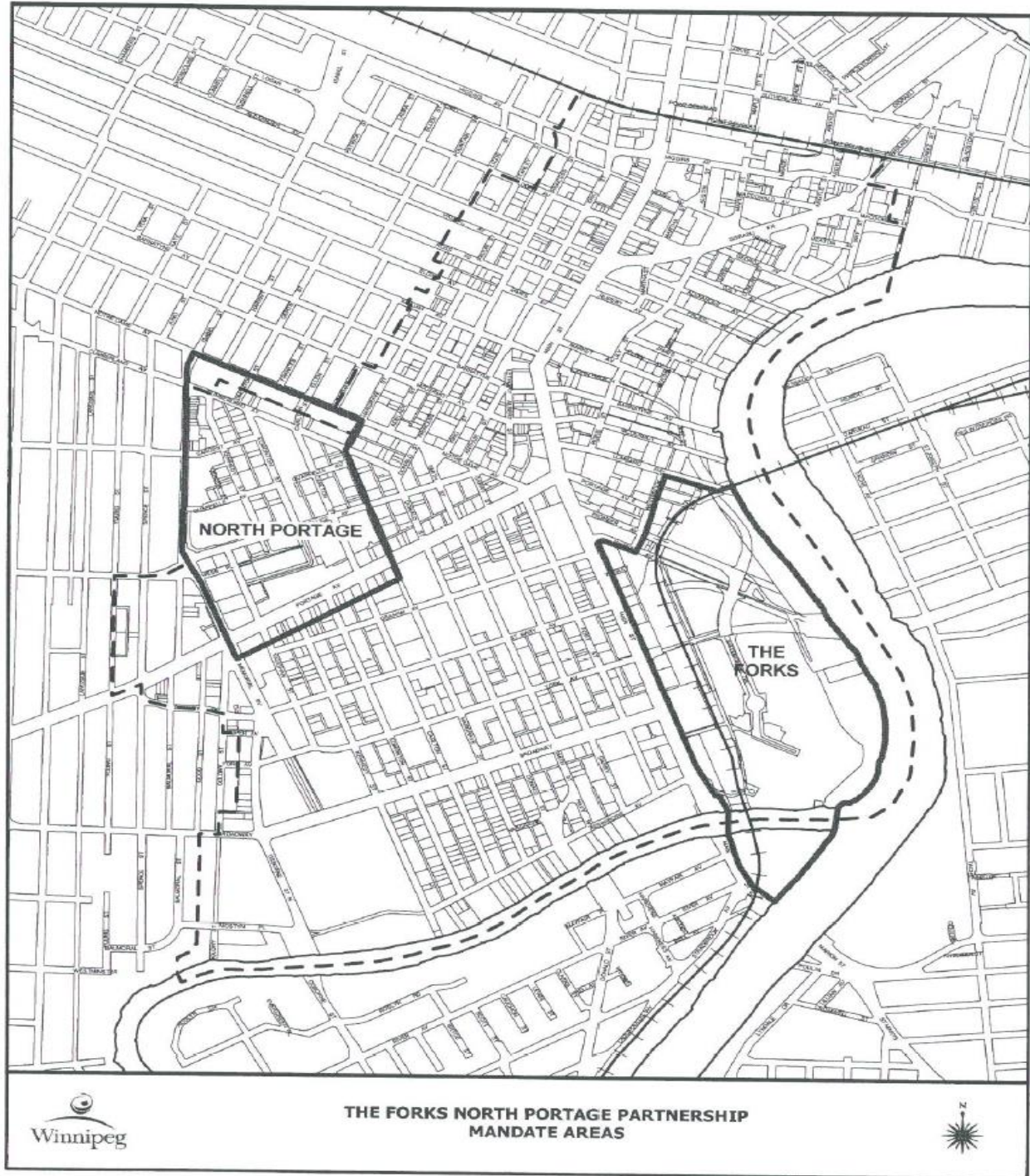
EVENT TYPE*		MULTIPLE-USE			CHARACTER			DOWNTOWN LIVING		RIVERBANK
		BASIC	PORTAGE AVE, MAIN ST	BROADWAY	WAREHOUSE	LEGISLATURE	FORKS	BASIC	WATERFRONT	BASIC
Total Sign Volume Maximum		Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable
Sign Form	Attached	Fascia, projecting, marquee	Fascia, projecting, marquee	Fascia, projecting, marquee	Fascia, projecting, marquee	Fascia, projecting, marquee	Fascia, projecting, marquee	Fascia, projecting, marquee	Fascia, projecting, marquee	Fascia, projecting, marquee
	Free-standing	Podium, pylon, ground-oriented	Podium, pylon, ground-oriented	Podium, ground-oriented	Podium, pylon, ground-oriented	Podium, pylon, ground-oriented	Podium, pylon, ground-oriented	Podium, ground-oriented	Podium, pylon, ground-oriented	Podium, ground-oriented
Sign Size Maximum		128 sq ft	128 sq ft	64 sq ft	64 sq ft	64 sq ft	96 sq ft	48 sq ft	64 square feet	48 square feet
Sign Structure Height Maximum, Free-Standing		25 feet	25 feet	10 feet	25 feet	25 feet	25 feet	10 feet	25 feet	10 feet
Sign Location	Attached	1-and 2-storey building: below parapet	Not applicable	1-and 2-storey building: below parapet	1-and 2-storey building: below parapet	1-and 2-storey building: below parapet	1-and 2-storey building: below parapet	1-and 2-storey building: below parapet	1-and 2-storey building: below parapet	1-and 2-storey building: below parapet
		3 storey and above building: below 2 nd storey ceiling	Not applicable	3 storey and above building: below 2 nd storey ceiling	3 storey and above building: below 2 nd storey ceiling	3 storey and above building: below 2 nd storey ceiling	3 storey and above building: below 2 nd storey ceiling	3 storey and above building: below 2 nd storey ceiling	3 storey and above building: below 2 nd storey ceiling	3 storey and above building: below 2 nd storey ceiling
	Free-standing	1 sign per public road frontage maximum	2 signs along frontage maximum	1 sign along frontage maximum	1 sign per public road frontage maximum	1 sign per public road frontage maximum	1 sign per public road frontage maximum**	1 sign per property maximum	1 sign per public road frontage maximum	1 sign per public road frontage maximum
* - can only be established in conjunction with "Cultural & Entertainment" and "Public & Institutional" uses, restaurants, and drinking establishments										
** - where property does not have frontage on a public road, 2 signs per building maximum										

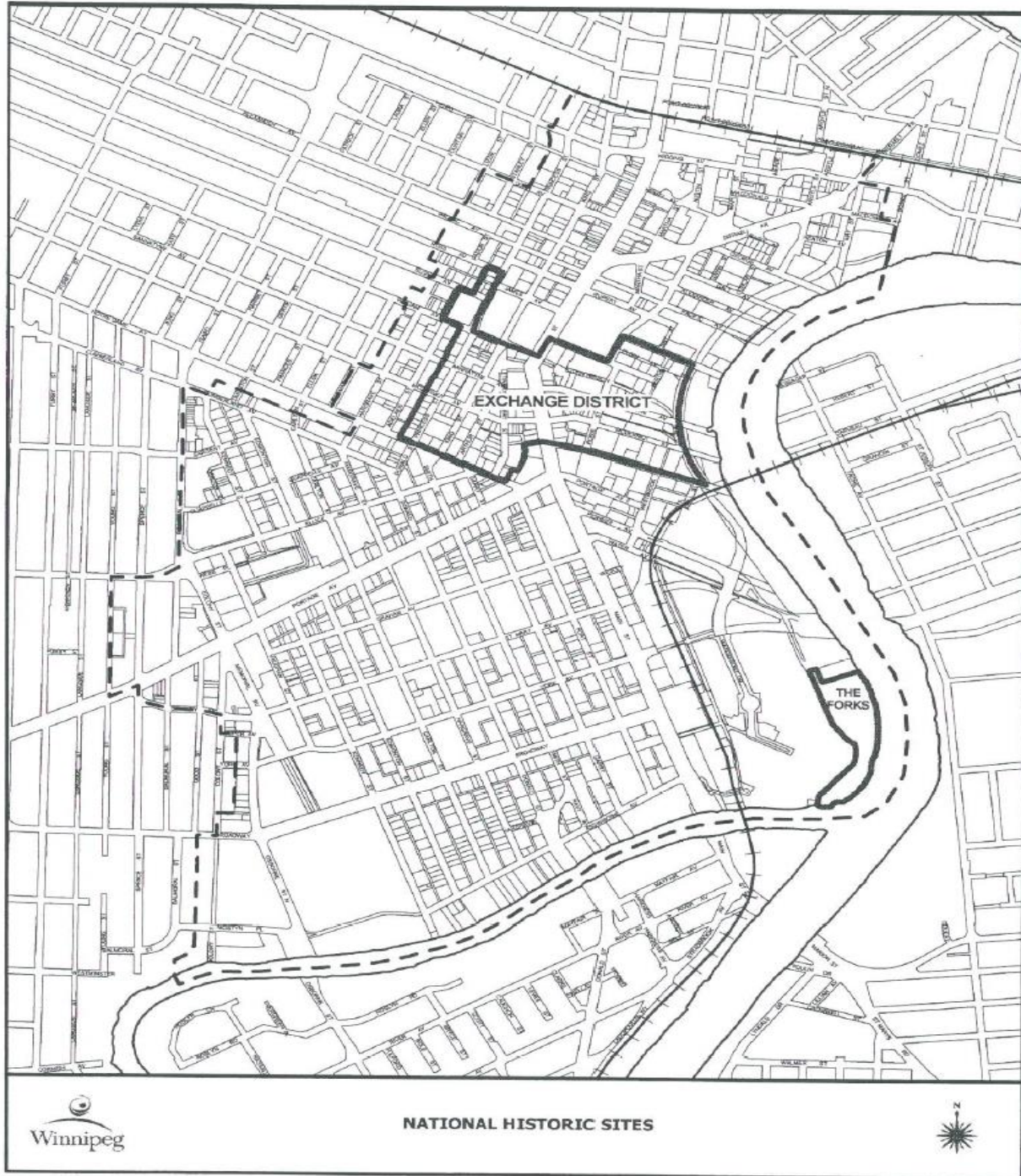
DIRECTIONAL TYPE		MULTIPLE-USE	CHARACTER		DOWNTOWN LIVING	RIVERBANK
		BASIC	BASIC	WATER AVENUE, PIONNER AVENUE	BASIC	BASIC
Total Sign Volume Maximum		Not applicable	Not applicable	Not applicable	Not applicable	Not applicable
Sign Form	Attached	All	All	All	All	All
	Free-standing	All	All	All	All	All
Sign Size Maximum		6 square feet per sign	4 square feet per sign	6 square feet per sign	4 square feet per sign	4 square feet per sign
Sign Structure Height Maximum, Free-standing		10 feet	10 feet	10 feet	10 feet	10 feet
Sign Location	Attached	1-and 2-storey building: below parapet	1-and 2-storey building: below parapet	1-and 2-storey building: below parapet	1-and 2-storey building: below parapet	1-and 2-storey building: below parapet
		3-storey and above building: below 2 nd storey ceiling	3-storey and above building: below 2 nd storey ceiling	3-storey and above building: below 2 nd storey ceiling	3-storey and above building: below 2 nd storey ceiling	3-storey and above building: below 2 nd storey ceiling
	Free-standing	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable

PARKING INSTRUCTIONS TYPE		ALL
Total Sign Volume Maximum		Not Applicable
Sign Form	Attached	All
	Free-standing	All
Sign Size Maximum sign		24 square feet per
Sign Structure Height Maximum, Free-standing		10 feet
Sign Location	Attached	1-and 2-storey building: below parapet 3-storey and above building: below 2 nd storey ceiling
	Free-standing	Set back from the public road right-of-way by a minimum distance equal to one half of the height of the sign

Information Maps:







Illustrations, supplemental to Part 7 Definitions:

General Definitions

building height storey



“building height”

Means the total number of storeys in a building or the vertical distance measured from grade to:

- a) the highest point of the roof surface of a flat roof;
- b) the deck of a mansard roof
- c) the mean height level between the eaves and ridge of a gable, hip, or gambrel roof.

“storey”

Means the portion of any building which is situated between the surface of any floor and the surface of the floor next above it, and, if there is no floor above it, that portion between the surface of such floor and the ceiling above it, but does not include a basement or cellar.

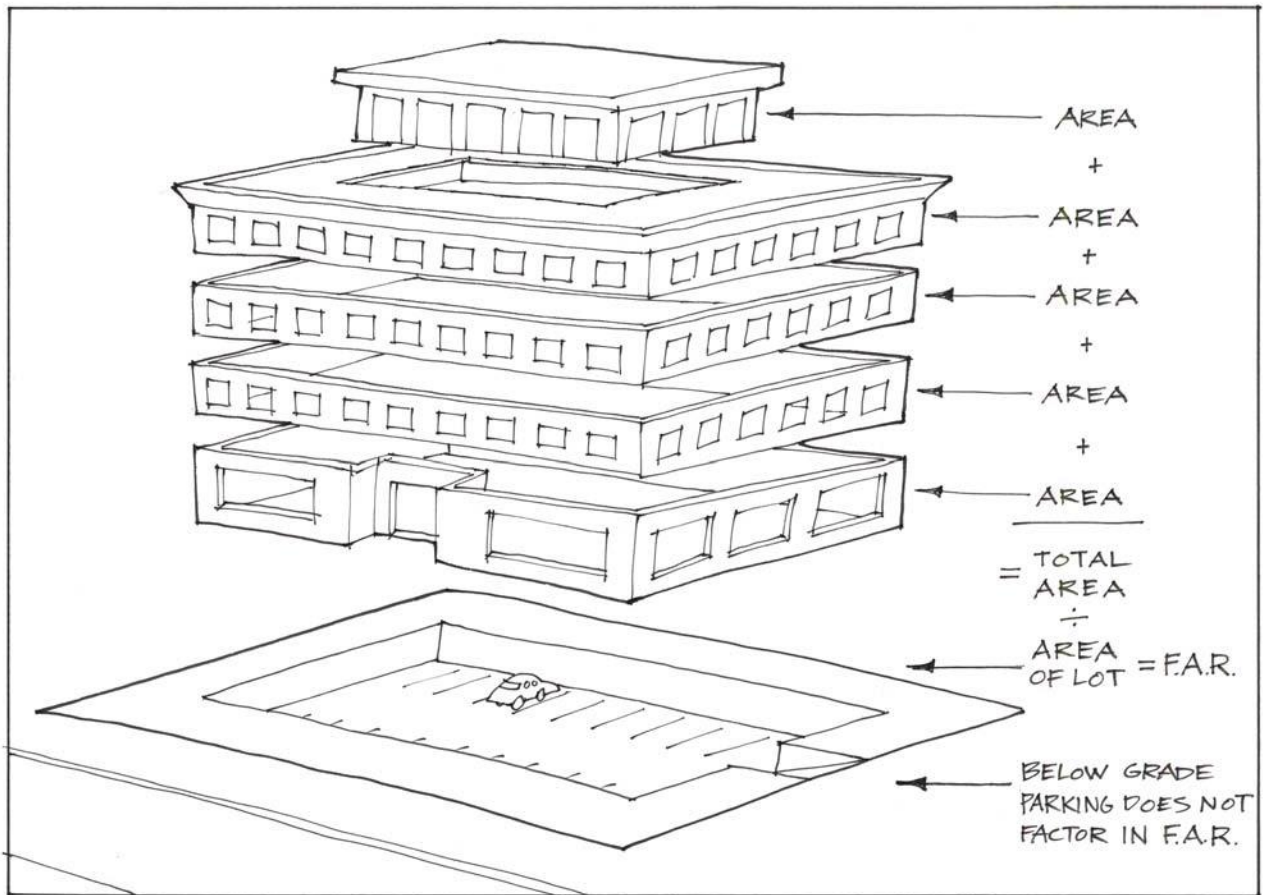
directly accessible from public sidewalk



“directly accessible from public sidewalk”

Means that portion of a non-residential or mixed-use building constructed to enable direct customer access to the building's use or uses directly from a public sidewalk, rather than from parking areas, interior hallways, enclosed malls, or common lobby areas. Includes portions of the building located at-grade, but also those portions directly accessible from the public sidewalk via stairs, ramps, or similar means. Also includes uses directly accessible from the designated Weather Protected Walkway System.

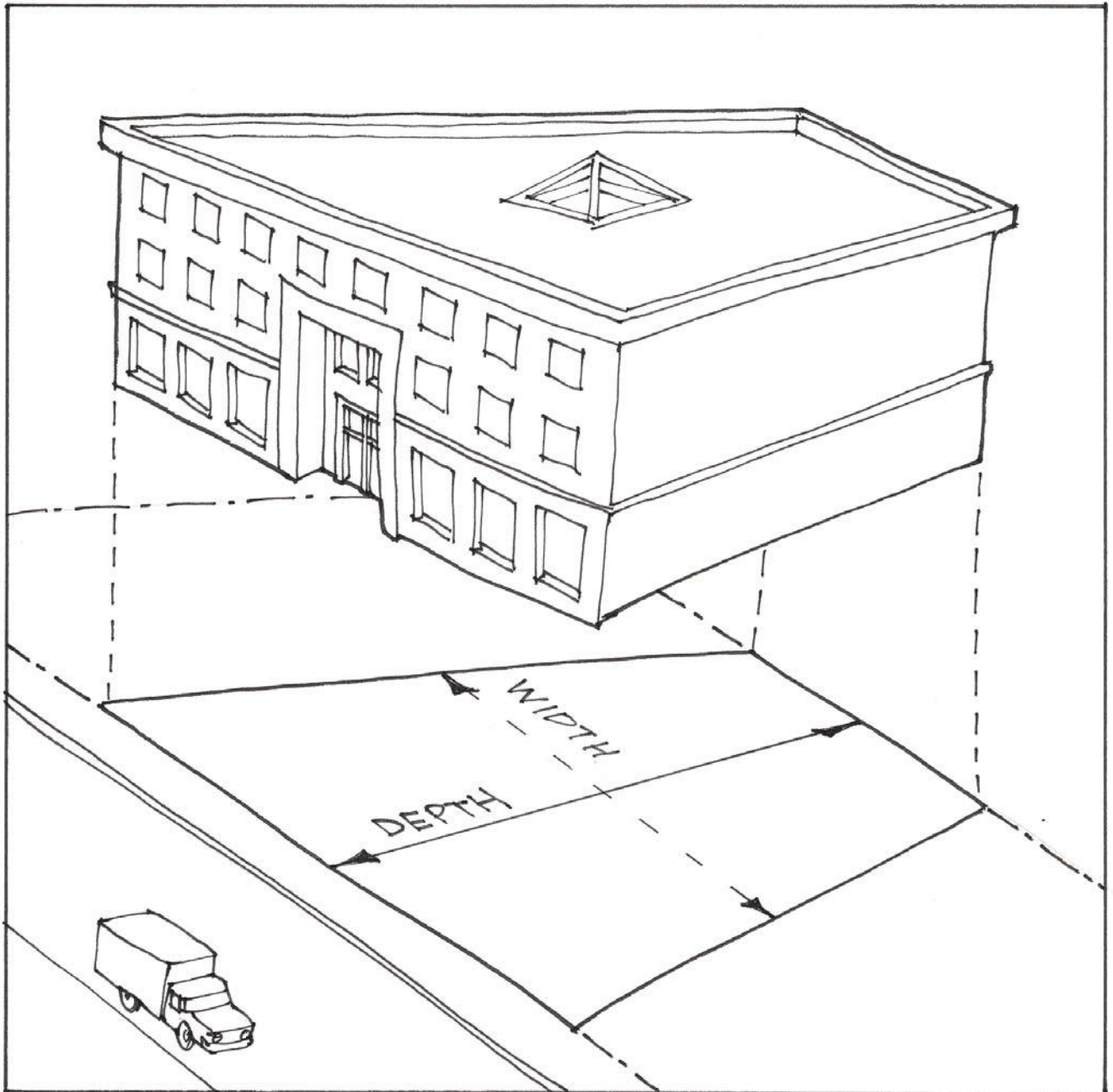
floor area ration, F.A.R.



“floor area ratio”

Means the total floor area of the buildings and structures on a zoning lot, divided by the total area of the zoning lot.

lot depth
lot width



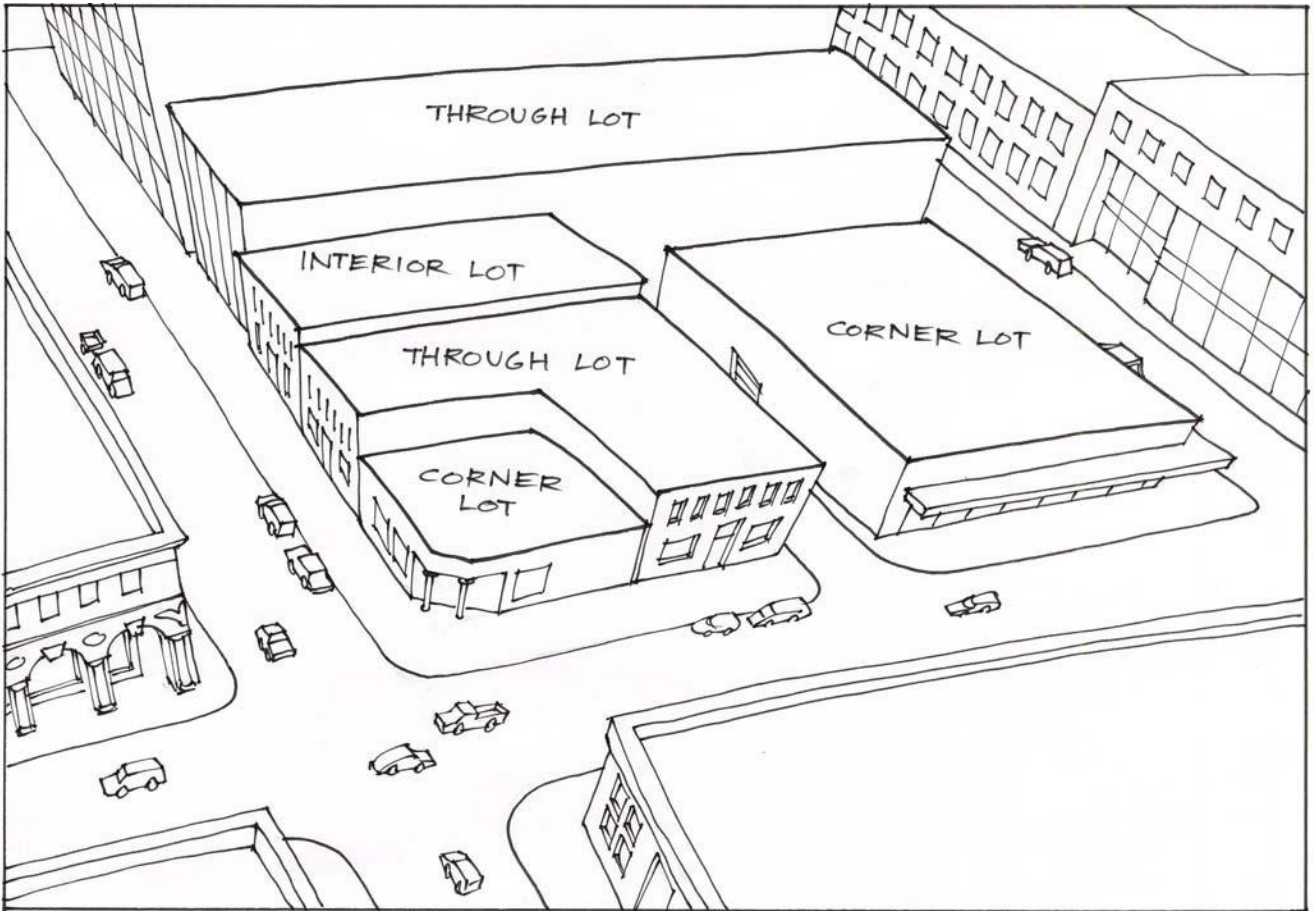
“lot depth”

Means the horizontal distance between the centre points in the front and rear lot lines.

“lot width”

Means the horizontal distance between the side lot lines of a lot, measured at right angles to the lot depth at a point midway between the front and rear lot lines, or at fifty feet from the front lot line, and the lesser of these distances is the lot width.

lot, corner
lot, through
lot, interior



“lot, corner”

Means a zoning lot which abuts the intersection of two or more public streets, or which abuts the approximately perpendicular intersection of two or more frontages of the same public street.

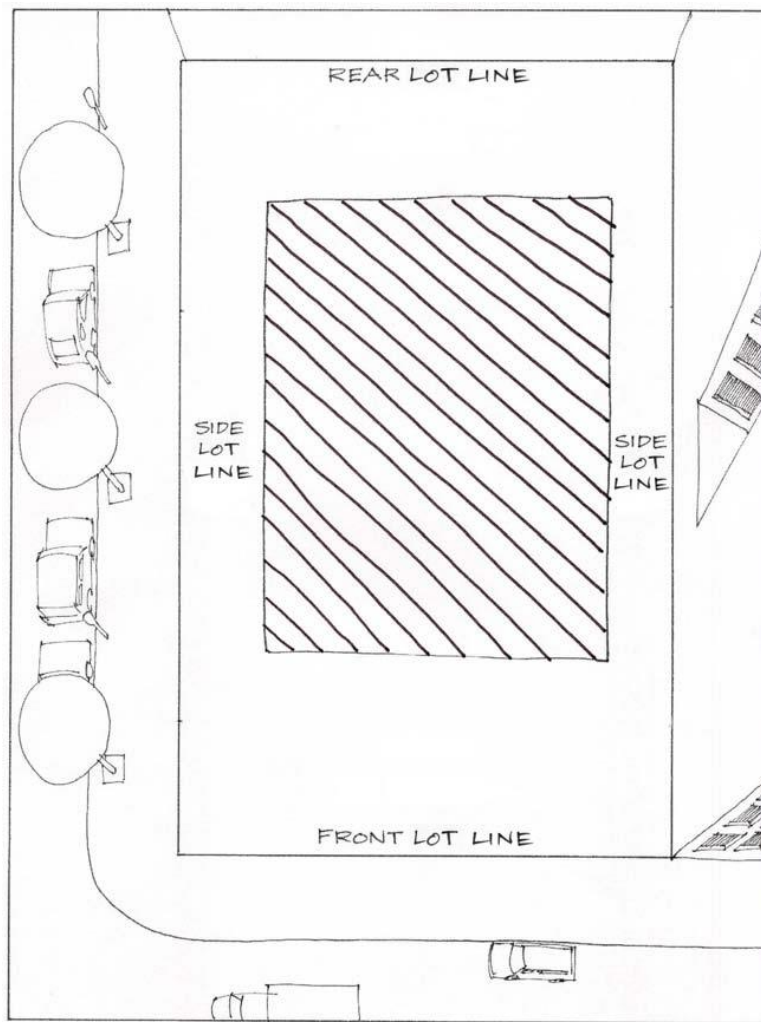
“lot, through”

Means a zoning lot which abuts two or more public streets, but which does not abut the intersection of those streets.

“lot, interior”

Means a lot other than a corner lot or a through lot.

lot line, front
lot line, rear
lot line, side



“lot line, front”

Means

- (a) in the case of an interior lot, all lot limits which abut public streets; or
- (b) in the case of a through lot, all lot limits which abut public streets from which vehicular access is permitted; or
- (c) in the case of a corner lot, that frontage which is the continuation of the front lot line of an abutting interior lot or if none those frontages which as front lot lines accord with the intent and purpose of yard requirements under this By-law.

“lot line, rear”

Means:

- (a) the lot limit which is most nearly parallel to the front lot line; or
- (b) any lot limit which is in whole or in part the rear lot line of an abutting lot and as a rear lot line accords with the intent and purpose of yard requirements or development standards under this By-law; or
- (c) in the case of a lot where the side lot lines intersect the rear lot line shall be deemed to be a line 10 feet in length, located within the lot, parallel to and at the maximum distance from the front lot line.

“lot line, side”

Means any lot limit which intersects with a front lot line and which is not a rear lot line in accordance with the intent and purpose of yard requirements under this By-law.

wind impact



“wind impact”

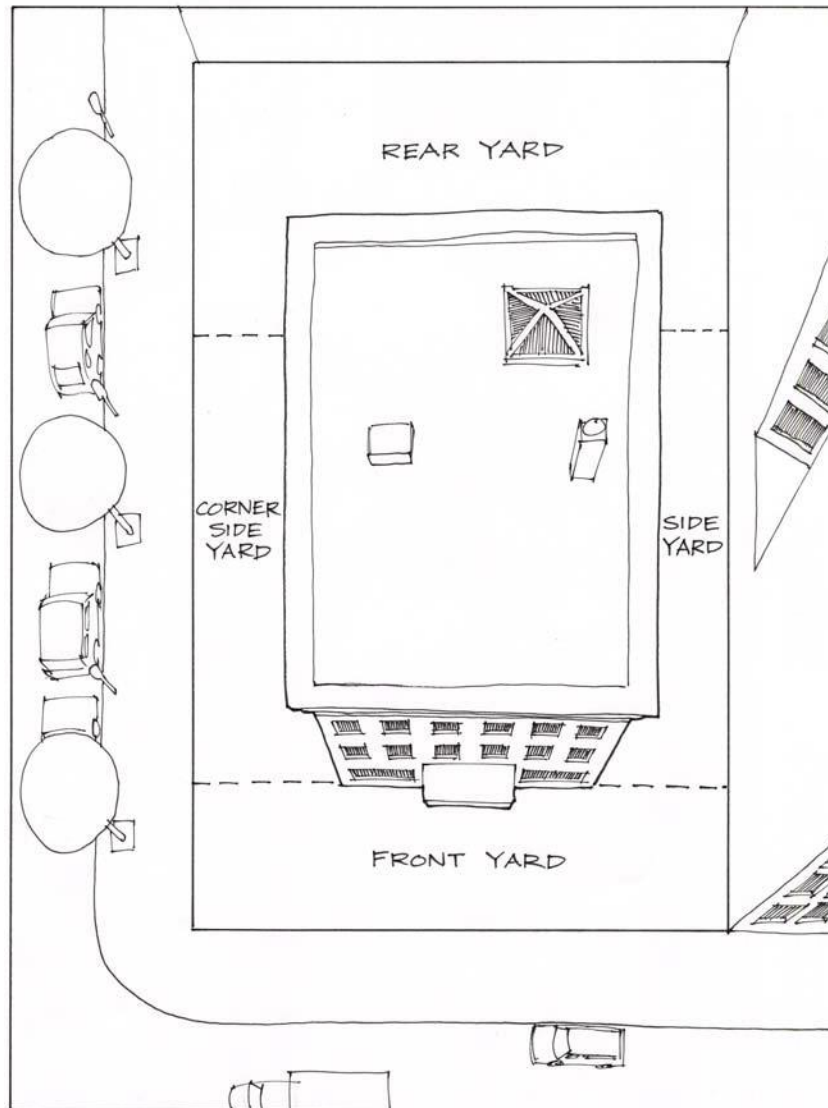
Means the generation and acceleration of intense wind drafts by tall buildings and structures in dense urban contexts, north through the affects of their own form and in relation to adjacent buildings and structures.

yard, front

yard, rear

yard, side yard,

corner side



“yard, front”

Means an open area on a zoning lot which is clear from ground to sky, except as otherwise permitted, extending along the full length of the front lot line, the depth of which is measured perpendicularly to the front lot line.

“yard, rear”

Means an open area on a zoning lot which is clear from ground to sky, except as otherwise permitted, extending along the full length of the rear lot line, the depth of which is measured perpendicularly to the rear lot line.

“yard, side”

Means an open area on a zoning lot which is clear from ground to sky, except as otherwise permitted, extending along the full length of the side lot line between the front yard and rear yard, the depth of which is measured perpendicularly to the side lot line.

“yard, corner side”

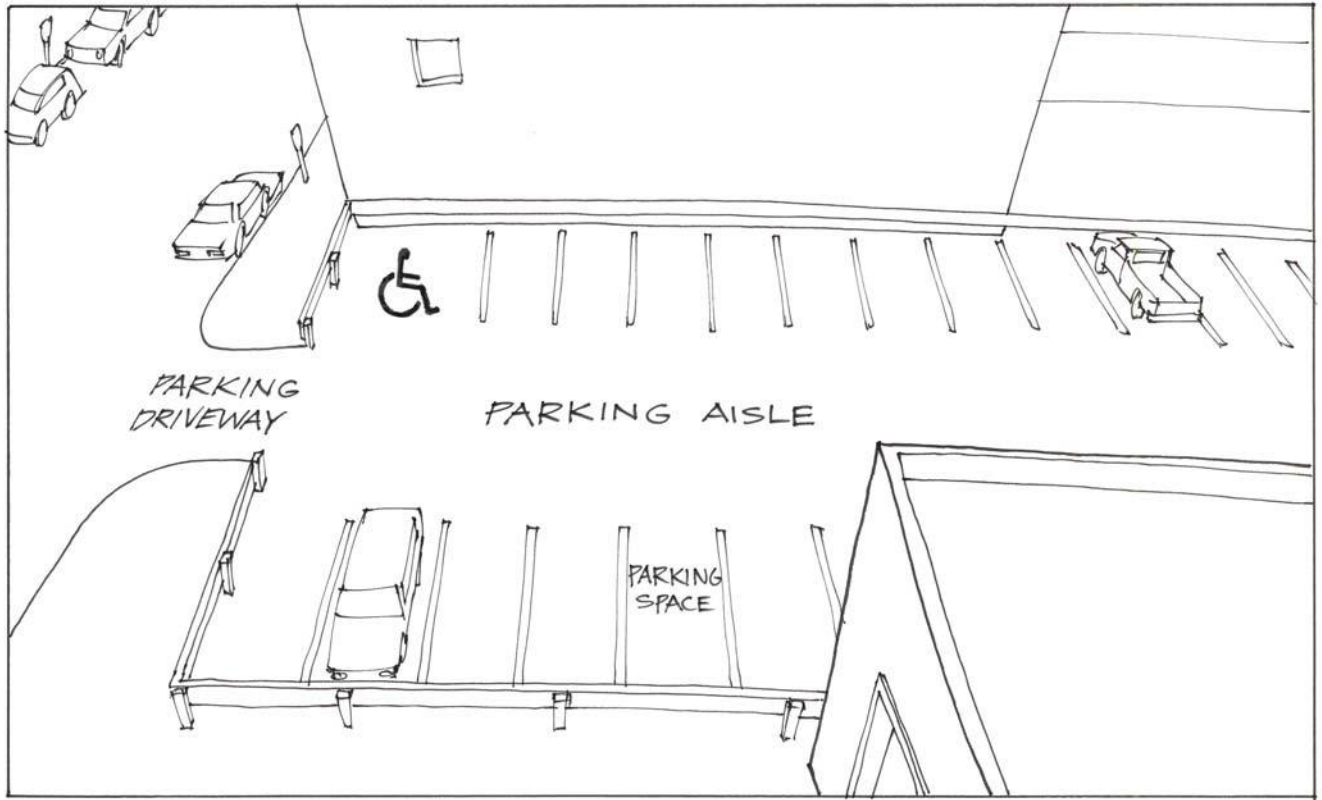
Means a side yard which adjoins a public road.

Use Definitions

parking aisle

parking driveway

parking space



“parking aisle”

Means that portion of a parking facility that provides vehicular access to a parking space, not directly from a public right of way.

“parking driveway”

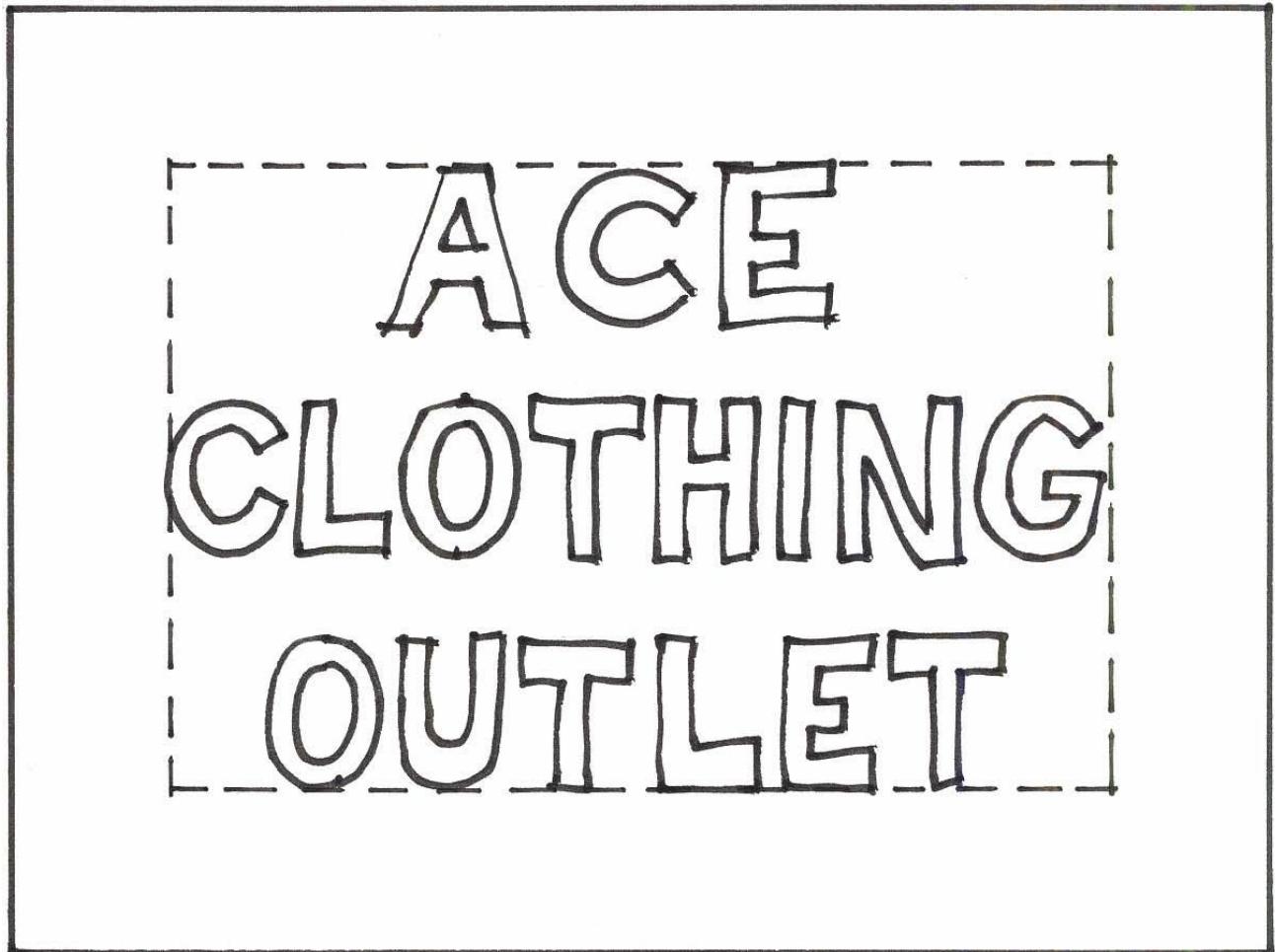
Means that portion of a parking facility that provides vehicular access from a public right-of-way to a parking space.

“parking space”

Means that portion of a parking facility, excluding vehicle manoeuvring areas such as aisles and driveways, that will accommodate one motor vehicle.

Sign Definitions

sign area



“copy area”

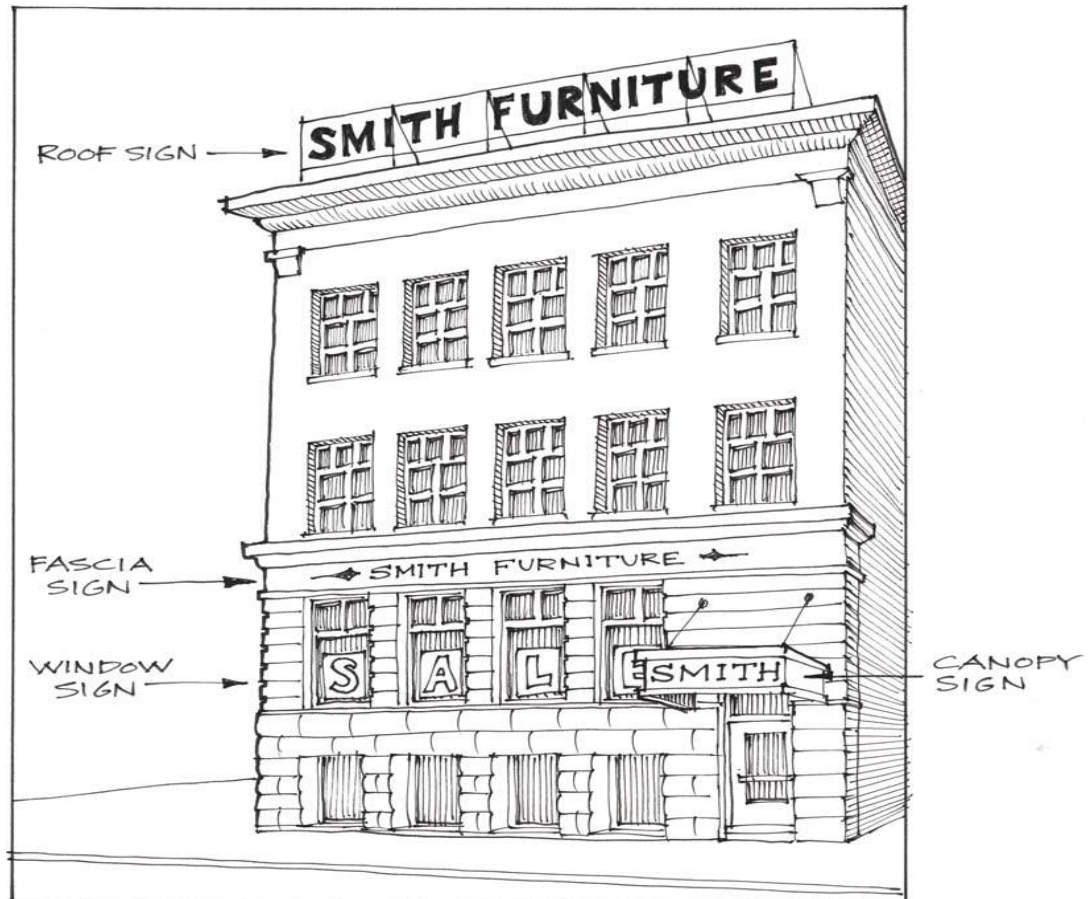
Means the area of a sign covered by a single rectangle drawn around the extremities of the message contained on the sign and, in the case of a multi-face sign, comprises half of the total area of all sign faces.

roof sign

fascia sign

canopy sign

window sign



“window sign”

Means a sign painted on, attached to, or installed on or within a window, for the purpose of being viewed from outside the premises.

“fascia sign”

Means a sign, or individual letters attached to, marked, or inscribed on, or erected or placed against a wall, whether forming part of a building or not, and having the exposed face of the sign on a space approximately parallel to the plane of such wall and projecting not more than 1.5 feet from the face of such wall.

“canopy sign”

Means a canopy which utilizes or incorporates a sign. A “canopy” means any roof-like structure projecting more than 1.5 feet from the face of a building having a rigid frame, and attached to said building in such a manner as not to become an integral part thereof.

“roof sign”

Means a sign erected, constructed, and maintained wholly upon or over the parapet of a building with the principal support on the roof structure

projecting sign

pylon sign

awning sign

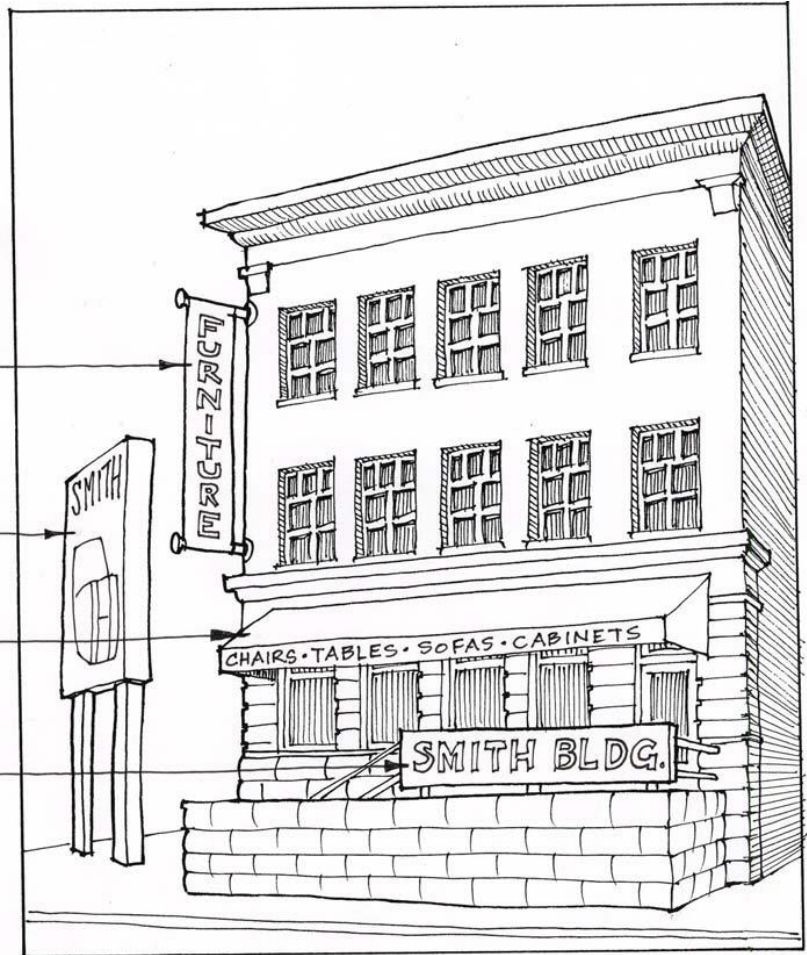
podium sign

PROJECTING SIGN

PYLON SIGN

AWNING SIGN

PODIUM SIGN



“podium sign”

Means a sign attached to a podium. A “podium” means a building base or low wall serving as a raised foundation or terrace wall; an integral part of the building or buildings.

“pylon sign”

Means a sign that is more than 10 feet in height above grade level, is supported by a permanent structure, and is not attached to any building or podium

“projecting sign”

Means a sign, other than an awning, canopy, or marquee sign, the exposed face or faces of which are not necessarily parallel to a wall and which is attached to a building and extends as a projection of a line of that building or beyond the surface of that portion of the building to which it is attached for a distance exceeding 18 inches.

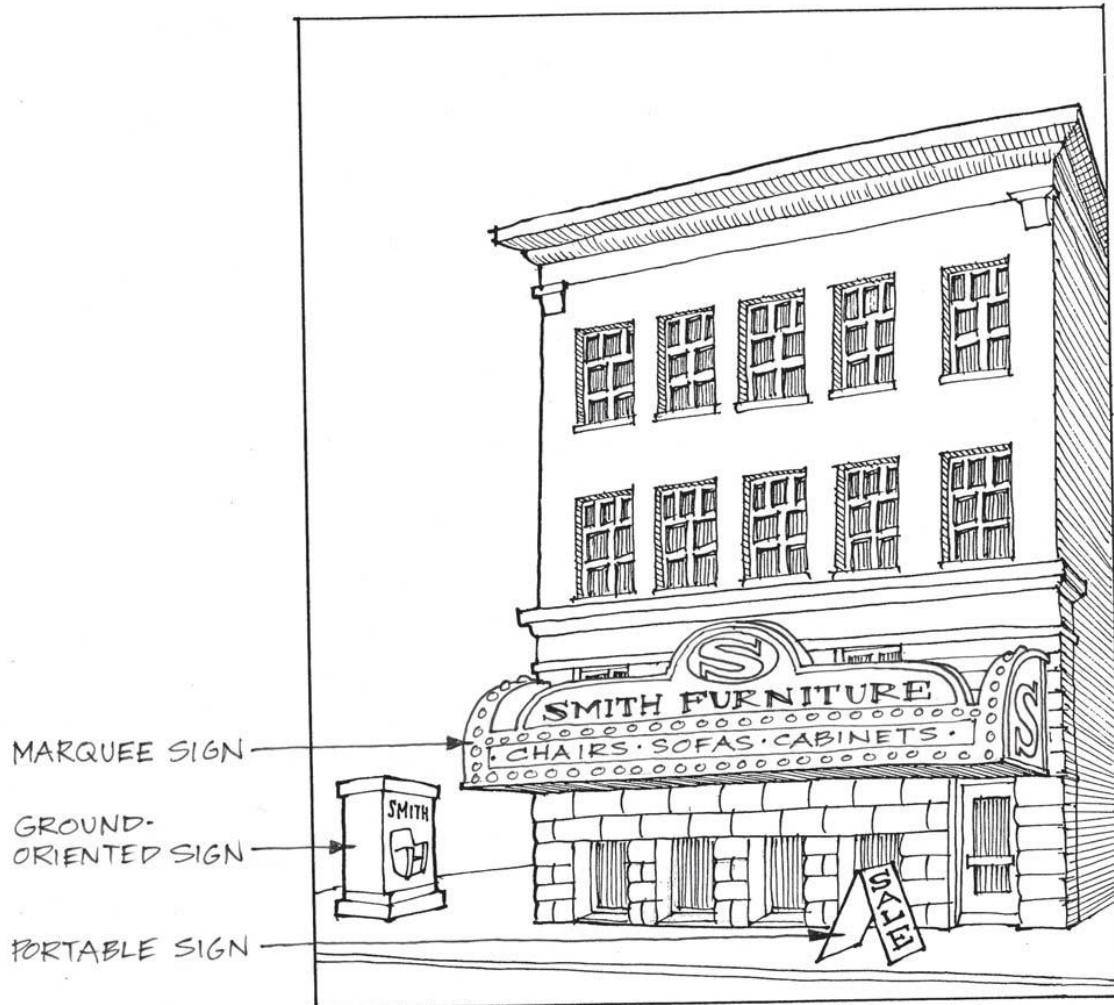
“awning sign”

Means an awning that incorporates a sign painted on, or affixed flat to the surface of the awning and which does not extend vertically or horizontally beyond the limits of such awning. An “awning” means a shelter projecting from and supported by the exterior wall of a building and designed to be collapsible, retractable, and generally constructed of fabric or similar non-rigid material.

marquee sign

ground oriented sign

portable sign



“Marquee sign”

Means a sign attached to a marquee. A “marquee” means any roof-like structure constructed and erected as a permanent part of the building over an entrance thereto, and projecting more than 1.5 feet from the exterior wall of the building.

“ground-oriented sign”

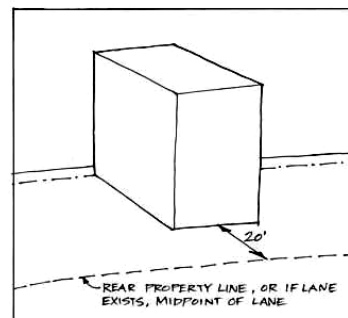
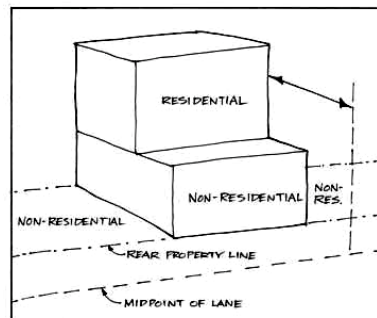
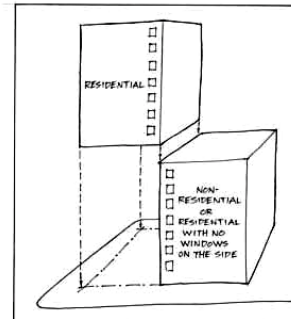
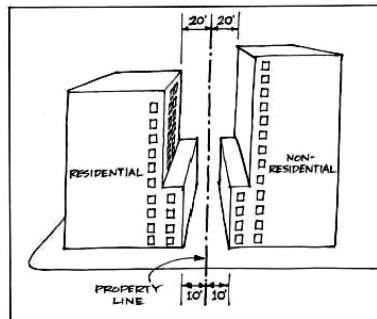
Means a free-standing sign that is 10 feet or less in height above ground level, and is not erected on one or more poles or similar supports, but erected to rest on and be permanently

“portable sign”

Means a sign not permanently attached to the ground, a podium, or a building. Includes Aframe, sandwich boards, and portable readerboards.

General Provisions

residential uses yards



RESIDENTIAL, OR NON-RESIDENTIAL NEXT TO RESIDENTIAL
REQUIRES A 20' REAR YARD

210(6)

For all Residential Uses, a 10 foot interior side yard must be provided for the portion of the building containing such uses, to a maximum height of 4-storeys. Above 4-storeys, a 20 foot interior side yard must be provided for the portion of the building containing such uses. These yards must also be provided when a building or structure containing non-residential uses is established on a lot that abuts a lot already containing Residential Uses.

210(7)

Notwithstanding subsection 210(6), no interior side yard is required when no windows, doors, or other openings (not including fire escape) are provided in the wall facing the adjacent property and in the adjacent property wall.

210(8)

For all Residential Uses, unless otherwise required in the applicable sector Bulk regulations, no minimum front or corner side yards are required.

210(9)

For all Residential Uses, a 20 foot rear yard must be provided; such yard need not extend below the lowest storey containing such Residential Uses. This yard must also be provided when a building or structure containing non-residential uses is established on a lot that abuts a lot already containing Residential Uses.

210(10)

Notwithstanding subsection 210(9), the 20 foot rear yard for the portion of the building containing Residential Uses within the first 4-storeys may be calculated from the rear wall of the building to the mid-point of an existing public road or lane right-of-way.