

Agenda – Board of Adjustment – July 25, 2018

PUBLIC HEARINGS

**Item No. 2 Variance – 3045-3059 Ness Avenue
(St. Charles Ward)
File DAV 143093/2018C [c/r DCU 143080/2018C]**

WINNIPEG PUBLIC SERVICE RECOMMENDATION:

The Urban Planning Division recommends approval of the application to vary the "C2" dimensional standards of Zoning By-Law No. 200/2006 as follows:

1. for the establishment of an accessory parking area to permit the following:
 - a) a west front yard of 18 feet (5.49 metres) instead of 25 feet (7.62 metres);
 - b) no east side yard instead of 8 feet (2.44 metres).

Subject to the following condition(s):

1. That for the development of any building, plans showing the location and design of proposed buildings, accessory parking areas, private approaches, free-standing signage, garbage enclosures, landscaping and fencing shall be submitted to the Director of Planning, Property and Development for plan approval prior to the issuance of any building or development permits, and thereafter all to be constructed and maintained to the satisfaction of the Director of Planning, Property and Development.

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- File: DAV 143093/2018C
- Applicant: Seymour Pacific Developments Ltd.
(Matthew Fitzgerald)
- Premises Affected: 3045-3059 Ness Avenue
- Legal Description: LOT 1; SLY 12F LOT 2 PLAN 10339 10 ST JA, hereinafter called
“the land”
- Property Zoned: “C2” - Commercial Community District
- Nature of Application: To vary the “C2” District Dimensional Standards of the Winnipeg
Zoning By-Law No. 200/2006 as follows:
1. for the establishment of an accessory parking area to permit
the following:
 - A. a west front yard of 18 feet (5.49 metres) instead of
25 feet (7.62 metres);
 - B. no east side yard instead of 8 feet (2.44 metres).
- Exhibits Filed:
1. Application dated July 9, 2018
 2. Notification of Public Hearing dated July 9, 2018
 3. Manitoba Status of Title 2425335/1
 4. Letter of authorization dated R. Williams, President,
Swancoat Investments Ltd. to Matthew Fitzgerald,
Broadstreet Properties
 5. Caveat 80/8042
 6. Confirmation from the Zoning and Permits Administrator
that the subject property may be posted in substitution for
newspaper advertising
 7. Plans, Sheets 1 to 3 inclusive dated July 9, 2018 and Sheets
4 to 11 inclusive dated June 27, 2018 for File DAV
143093/2018C
 8. Report from the Urban Planning Division dated July 17,
2018
 9. Inspection Report

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The Winnipeg Public Service to advise that all statutory requirements with respect to this application have been complied with.

REPRESENTATIONS:

In Support:

In Opposition:

For Information:

For the City:

Moved by

That the report of the Winnipeg Public Service be taken as read.

Moved by

That the receipt of public representations be concluded.

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Moved by

That in accordance with Subsection 247(3) of The City of Winnipeg Charter, the Variance,

- (a) is consistent is not consistent with Plan Winnipeg, and any applicable secondary plan;
- (b) does not create does create a substantial adverse effect on the amenities, use, safety and convenience of the adjoining property and adjacent area, including an area separated from the property by a street or waterway;
- (c) is is not the minimum modification of a zoning by-law required to relieve the injurious effect of the zoning by-law on the applicant's property; and
- (d) is is not compatible with the area in which the property to be affected is situated.

Supporting Comments:

Moved by

That the recommendation of the Winnipeg Public Service be concurred in / not be concurred in and the Variance be approved / rejected.

Moved by

That the public hearing with respect to this application be concluded.

ADMINISTRATIVE REPORT

- Title:** DAV 18-143093/C – 3045-3049 Ness Avenue
- Issue:** For consideration at the public hearing for a variance associated with the establishment of a mixed use commercial and residential development.
- Critical Path:** Board of Adjustment as per the Development Procedures By-law and The City of Winnipeg Charter.

AUTHORIZATION

Author	Division Head	Department Head	CFO	CAO
R. Galston, MCP	B. Smith, RPP, MCIP	n/a	n/a	

RECOMMENDATIONS

The Urban Planning Division recommends approval of the application to vary the "C2" dimensional standards of Zoning By-Law No. 200/2006 as follows:

- for the establishment of an accessory parking area to permit the following:
 - a west front yard of 18 feet (5.49 metres) instead of 25 feet (7.62 metres);
 - no east side yard instead of 8 feet (2.44 metres).

Subject to the following condition(s):

- That for the development of any building, plans showing the location and design of proposed buildings, accessory parking areas, private approaches, free-standing signage, garbage enclosures, landscaping and fencing shall be submitted to the Director of Planning, Property and Development for plan approval prior to the issuance of any building or development permits, and thereafter all to be constructed and maintained to the satisfaction of the Director of Planning, Property and Development.

REASON FOR THE REPORT

- Variance applications require a public hearing as per *The Development Procedures By-law* No. 160/2011 and *The City of Winnipeg Charter*, section 249.
- The report is being submitted for the Board of Adjustment’s consideration of the development application at the public hearing.

IMPLICATIONS OF THE RECOMMENDATIONS

If the recommendations of the Urban Planning Division are concurred in, development permits for the construction of a mixed use development may be issued.

FILE/APPLICANT DETAILS

FILE: DAV 18-143093/C
RELATED FILES: DCU 18-143080/C
COMMUNITY: Assiniboia Committee
NEIGHBOURHOOD #: 2.212 (Heritage Park)

SUBJECT: To vary the "C2" dimensional standards of Zoning By-Law No. 200/2006 as follows:
1) for the establishment of an accessory parking area to permit the following:
a) a west front yard of 18 feet (5.49 metres) instead of 25 feet (7.62 metres);
b) no east side yard instead of 8 feet (2.44 metres).

LOCATION: 3049 Ness AVE
LEGAL DESCRIPTION: LOT 1; SLY 12F LOT 2 PLAN 10339 10 ST JA

APPLICANT: Matthew Fitzgerald
100 St. Annes's Rd.
Campbell River , British Columbia V9W 4C6

OWNER:
305 BROADWAY AVE
Winnipeg , Manitoba R3C 3J7

HISTORY

N/A

DISCUSSION

CRITERIA FOR APPROVAL

Pursuant to Section 247(3) of *The City of Winnipeg Charter*, an application for a variance with respect to a property may be approved if the variance:

- (a) is consistent with Plan Winnipeg and any applicable secondary plan;
- (b) does not create a substantial adverse effect on the amenities, use, safety and convenience of the adjoining property and adjacent area, including an area separated from the property by a street or waterway;

- (c) is the minimum modification of a zoning-by-law required to relieve the injurious effect of the zoning by-law on the applicant's property; and
- (d) is compatible with the area in which the property to be affected is situated.

SITE DESCRIPTION

- The subject property is located on the north side of Ness Avenue, in the Heritage Park Neighbourhood of the St. Charles Ward.
- The subject property is approximately 3.2 acres in size. A one storey commercial building with seven (7) commercial units is currently located on the subject property. The largest of these commercial units, a former Safeway store, has been vacant for several years.
- The site is located within the Areas of Stability – Recent Communities policy area under the *Complete Communities Direction Strategy*. The property is zoned “C2” – Commercial Community.
- The subject property is serviced by eastbound and westbound Transit stops located on Ness Avenue adjacent to the subject property. Each of these stops which have regular daily service (Route 24) and a weekday express service (Route 25).

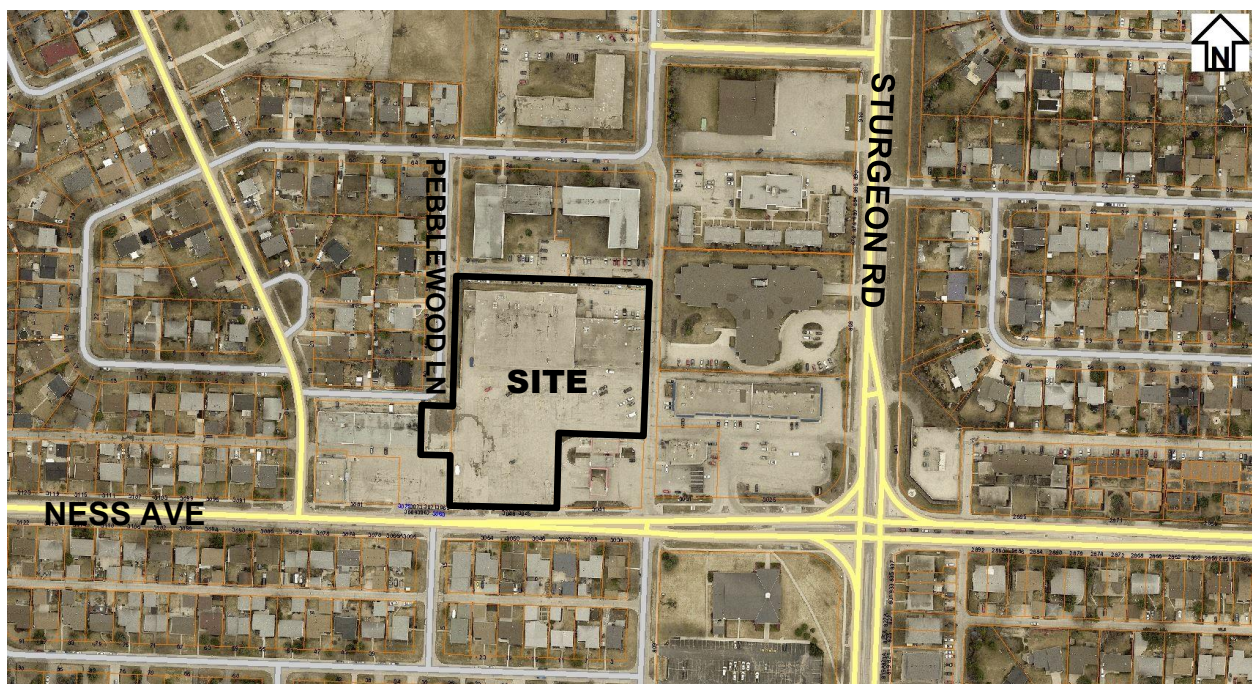


Figure 1: Aerial Photo of Subject Site and Surrounding Uses (flown 2016)

SURROUNDING LAND USE AND ZONING (See Figure 2)

North: Multi-family residential uses zoned “RMF-S” Residential Multi-Family Small.

South: Ness Avenue, then single-family residential uses zoned “R1-L” – Residential Single Family Small.

East: Public lane, then commercial uses zoned “C2” – Commercial Community.

West: Commercial uses zoned “C2” – Commercial Community; and Pebblewood Lane, then single-family residential uses zoned “R1-L” – Residential Single Family Large.

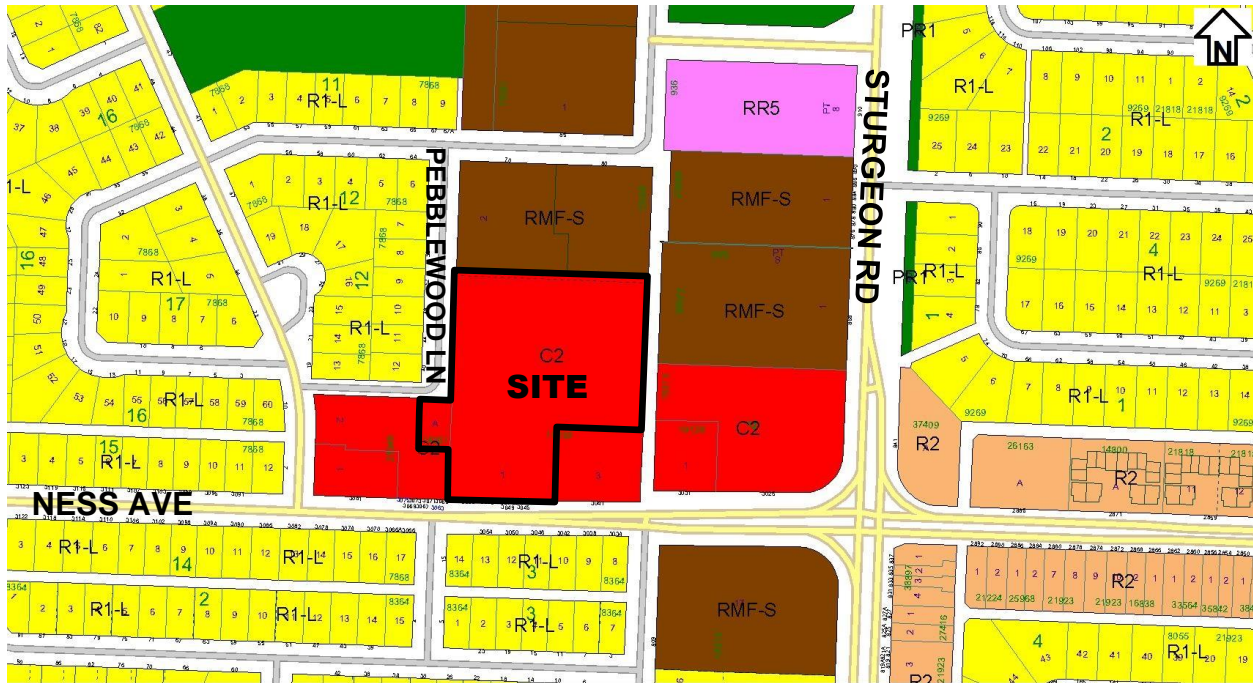


Figure 2: Zoning of the site and surrounding area.

DESCRIPTION OF THE PROPOSED DEVELOPMENT

- The applicant is proposing to construct a mixed use development consisting of two (2) buildings, Building “A” and Building “B,” with a total of 119 residential units.
- The proposed development will contain four (4) commercial units on the ground floor of proposed Building “A,” which are to be located near the south side of the subject property, along Ness Avenue. Building “B” will contain no commercial units.
- Each of the buildings will be four storeys in height.
- Vehicular access to the subject site is to be taken from Ness Avenue, Pebblewood Lane, and the public lane immediately to the east side of the site.
- The applicant has a concurrent application for a conditional use (DCU 18-143080/C) associated with the establishment of a mixed use building with residential uses on the ground floor in a “C2” district.

ANALYSIS AND ISSUES

COMPLETE COMMUNITIES DIRECTION STRATEGY

- The *Complete Communities Direction Strategy* is one of four direction strategies supporting OurWinnipeg, the city’s long-range development plan, and has statutory authority as a secondary plan. The strategy guides land use and development in Winnipeg.
- The subject property is located along a “Community Mixed Use Corridor” (Ness Avenue) under Complete Communities. Complete Communities directs a significant share of growth to Corridors in a way that:
 - Provides compact, mixed-use, high-quality urban development.

- Concentrates people and jobs in areas well-served by the primary transit service, located close to transit stops.
- Concentrates urban development in a built form that helps to optimize existing investment, municipal infrastructure, and facilities.
- Encourages a built form that supports a pedestrian-friendly environment while incorporating climate-sensitive site and building design.
- With regard to this proposal, the key policies guiding the development of Community Mixed Use Corridors include:
 - Provide a mix of employment, higher-density residential opportunities, retail and service uses that support the needs of and respect the context of adjacent communities.
 - Support a range of housing opportunities in terms of type, tenure, unit size.
 - Support active uses (such as retail and services) at street level and office and housing on the upper levels of multi-storey developments.
 - Encourage urban design and/or form-based strategies that define the character of Centres and Corridors through clarifying the massing and height of buildings, setbacks, appropriate open space areas and appropriate parking design and locations.

CITY OF WINNIPEG ZONING BY-LAW 200/2006

- The “C2” Commercial Community zoning district is intended to accommodate more intensive commercial sites that do not have a local or neighbourhood orientation. The district is intended to include attractive commercial, institutional, recreational, and service facilities needed to support the surrounding neighbourhoods and the broader community.
- “C2” districts are generally located in Community or Regional mixed use centres or along Community or Regional mixed use corridors.
- In “C2” zoning districts, dwelling units must not be located on the first storey of any principal building. The first storey of a principal building may only be used for any use in the following use categories:
 - Public and Institutional;
 - Cultural and Entertainment; and
 - Commercial Sales and Service, except the Billboard Signs use sub-category.

Yard Variances

- The minimum required front yard for a multi-family dwelling and commercial building in the “C2” zoning district is 25 feet. The applicant is proposing a west front yard of 18 feet. As such, a variance for a front yard is required.
- The minimum required side yard is eight (8) feet. The applicant is proposing no east side yard (0 feet). As such, a variance for a side yard is required.

ANALYSIS OF VARIANCES

Front Yard

- The Urban Planning Division is supportive of the proposed front yard reduction to 18 feet instead of 25 feet for a parking area with approximately 75 feet on frontage on Pebblewood

Lane. The reduced front yard will allow the applicant to provide additional parking spaces for the proposed development. A front yard of 18 feet provides sufficient width to accommodate required landscaping elements in order to screen the parking area from adjacent properties on Pebblewood Lane.

Side Yard

- The Urban Planning Division is supportive of the east side yard variance of zero (0) feet instead of eight (8) feet because this side yard is adjacent to a public lane and to commercial use zoned “C2”.
- Plans submitted show that the east side yards will contain a drive aisle (east of Building “A”). By reducing the east side yard at this location allows the mixed use Building “A” to be more oriented to Ness Avenue, thereby providing more street-oriented development along a Community Mixed Use Corridor.
- The reduced side yard located southeast of Building “B” is to permit a bicycle parking area approximately 140 square feet in area. The remainder of the reduced side yard area will accommodate a landscaped strip approximately 10 feet wide.

REASONS FOR RECOMMENDATIONS

In the context of Section 247(3), the Urban Planning Division recommends **approval** for the following reasons:

- (a) is consistent with Plan Winnipeg and any applicable secondary plan;
In that, the application is consistent with the Complete Communities Direction Strategy, which supports intensification along Community Mixed Use Corridors.
- (b) does not create a substantial adverse effect on the amenities, use, safety and convenience of the adjoining property and adjacent area, including an area separated from the property by a street or waterway;
In that, the proposed commercial and residential uses are compatible with the surrounding neighbourhood and Ness Avenue corridor.
- (c) is the minimum modification of a zoning-by-law required to relieve the injurious effect of the zoning by-law on the applicant's property; and
In that, the variances as applied for will allow the applicant to introduce moderate intensification on the subject property which is consistent with the Complete Communities Direction Strategy.
- (d) is compatible with the area in which the property to be affected is situated.
In that, the proposed mixed use development is compatible with the area, which is primarily defined by a mix of commercial and residential uses, including multi-family residential uses.

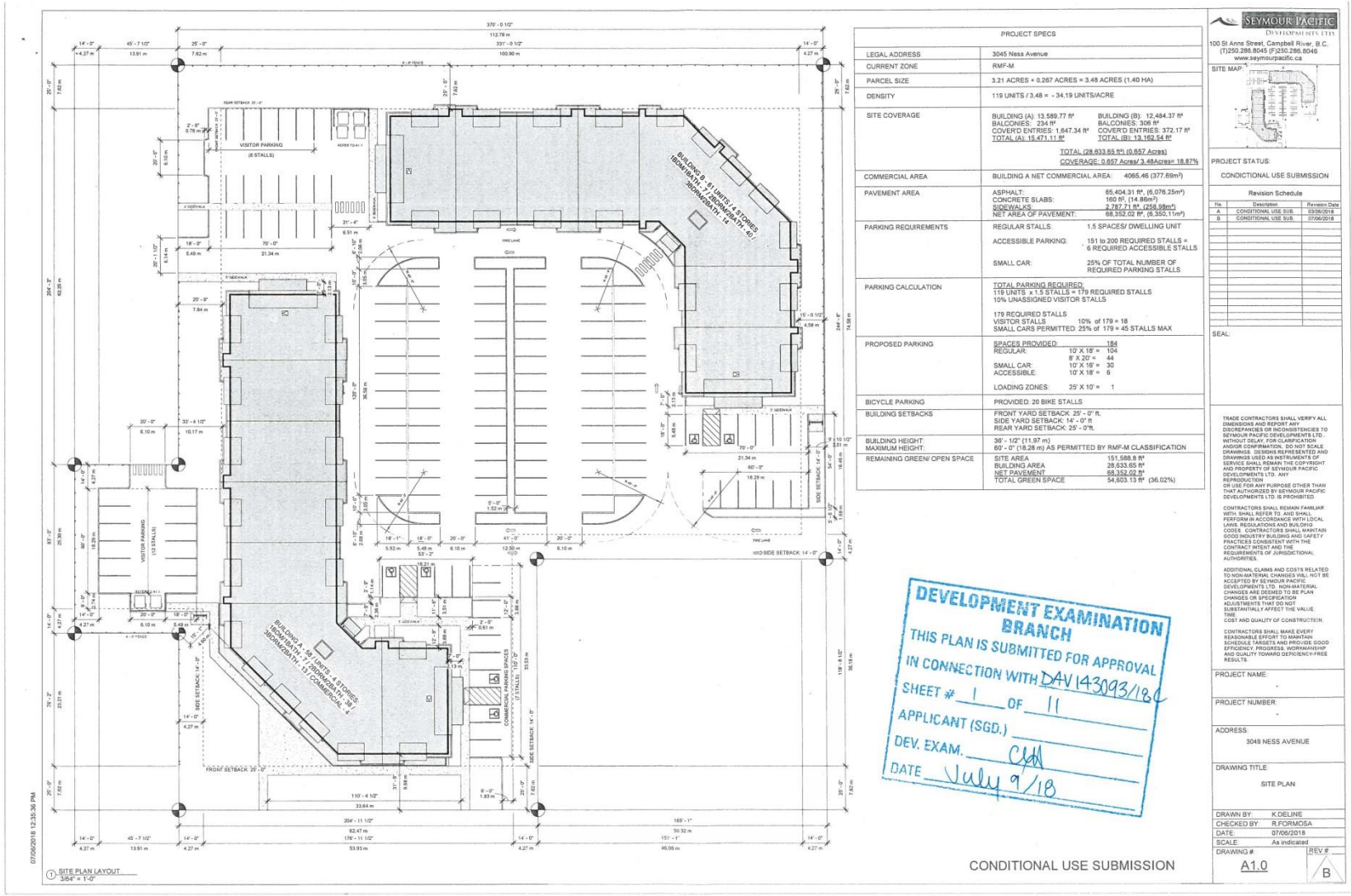
CONSULTATION

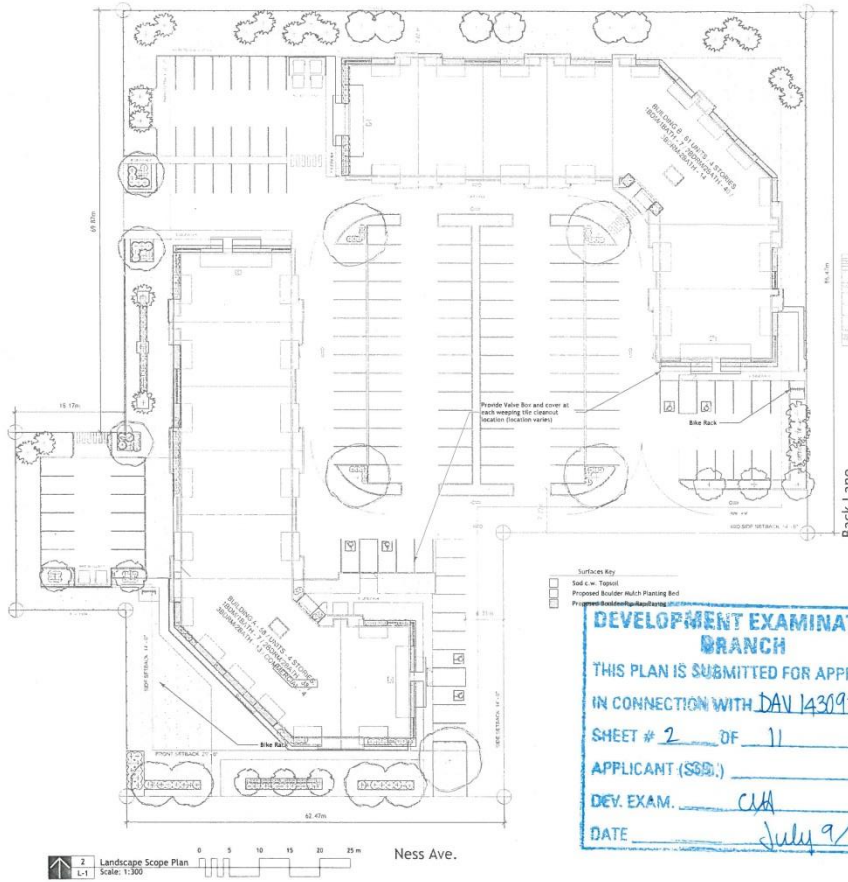
In preparing this report there was internal consultation with: N/A

SUBMITTED BY

Department: Planning, Property and Development
Division: Urban Planning
Prepared by: Robert Galston, MCP
Date: Tuesday, July 17, 2018
File No. DAV 18-143093/C

Exhibit "7" referred to in File DAV 143093/2018C





DEVELOPMENT EXAMINATION BRANCH
 THIS PLAN IS SUBMITTED FOR APPROVAL
 IN CONNECTION WITH DAV 143193/18C
 SHEET # 2 OF 11
 APPLICANT (SSD):
 DEV. EXAM. CMH
 DATE July 9/18

City of Winnipeg Zoning Requirements

190 (J) Street Edge Landscaping

Street Frontage	204 Lin Ft.	Required	Proposed
Trees	7	7	7
Shrubs	30	35	35

190 (K) Building Foundation Landscaping (outside of urban infill areas)

Principle Facade	143 Lin Ft.	Required	Proposed
Shrubs	15	17	17

Principle Facade	264 Lin Ft.	Required	Proposed
Shrubs	26	36	36

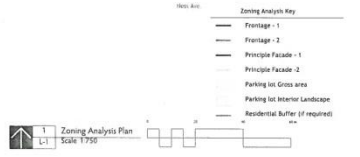
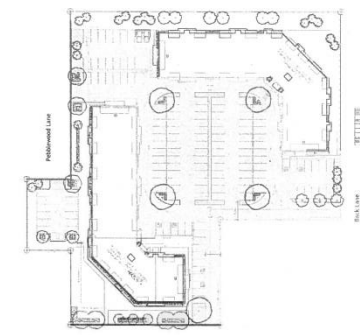
Principle Entry	41 Lin Ft.	Required	Proposed
Shrubs	4	17	17

190 (L) Parking lot Interior Landscaping

Gross Parking Lot Area	6595 Sq. Ft.	Required	Proposed
Required Landscape Area	3297	4648	4648
Trees	11	12	12
Shrubs	33	36	36



- General Notes**
- All existing trees, sidewalks, curbs, catch basins, culverts, survey markers, to remain, are to be protected during construction. Any damage to them is to be made good by the Contractor. Maintain positive drainage into all catch basins and curb inlets.
 - All work is to be warranted for a period of not less than 1 year.
 - Contractor is to limit operations to the area within the area of work shown on the drawing. Should areas outside of this limit be damaged during the course of construction, Contractor is to make good the damage at his own expense.
 - Contractor is to obtain location of all utilities prior to construction. If using power equipment to excavate contractor must notify Hydro and Gas and telephone utilities and take steps to avoid damaging their installations.
 - All dimensions are in meters unless otherwise noted.
 - Contractor to confirm all dimensions and report any discrepancies to Contract Administrator prior to construction.
 - Layout is to be approved by Contract Administrator prior to any construction or demolition/removals.



- This drawing shall not be used for construction unless signed and sealed by Landscape Architect.
- Verifications and modifications to the work shown will not be allowed without prior written consent of Landscape Architect.
- Drawing and Specifications, as instruments of service, are the property of the Landscape Architect. The copyright is reserved in the name of the Landscape Architect. No reproduction may be made without the prior written consent of the Landscape Architect.
- Contractor/Client are to be prepared a bonded invoice to reproduce these drawings for the purposes of bidding. Such reproductions are not to be used for construction.

C 18-7-9 Removed Parking from the Front
 B 18-6-13 For Permitting
 A 18-5-12 For Client Review

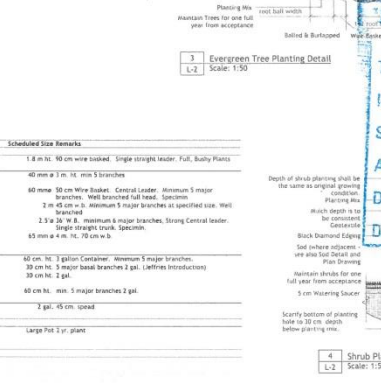
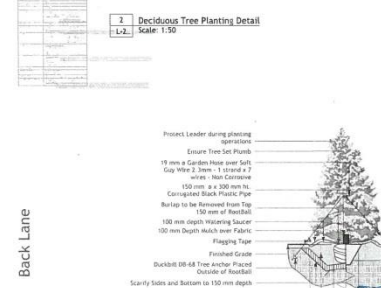
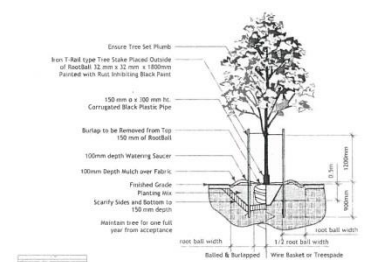
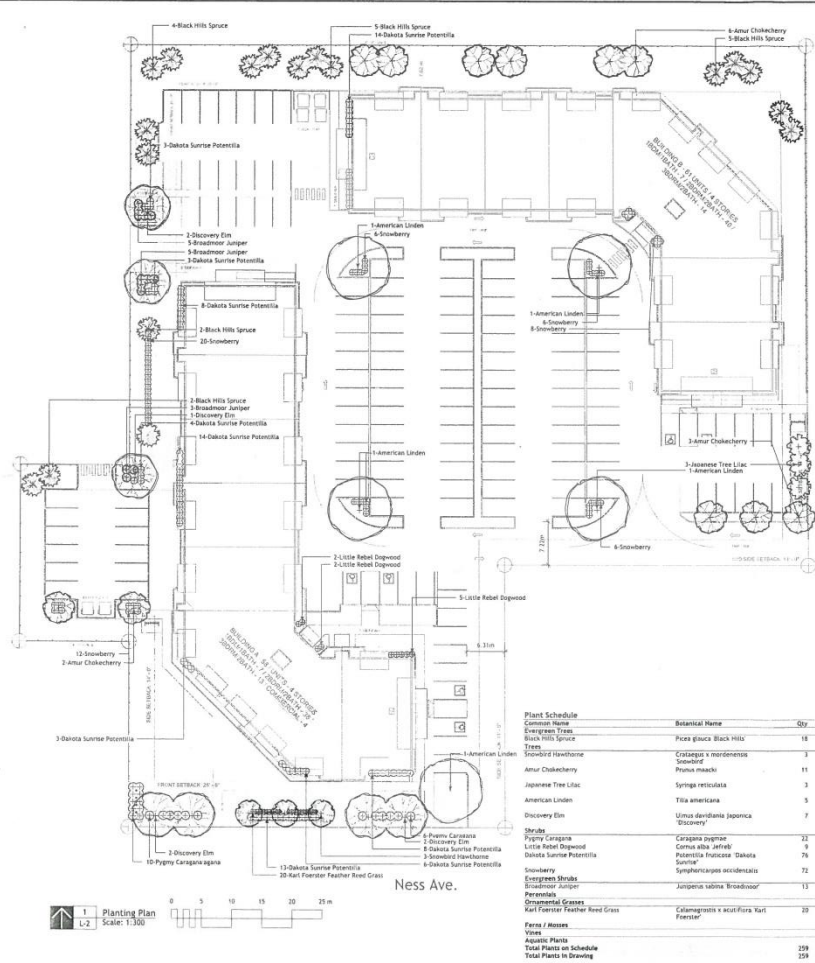
NO. Date Issue Notes

July 4, 2018
 DEAN J. SPERMAN
 Manitoba Reg. No. 509

308 Ness Ave.
 Winnipeg, Manitoba

Landscape Scope Plan

L-1
 of 2



Plant Schedule	Botanical Name	Qty	Scheduled Size	Remarks
Conifers	Picea glauca Black Hills	18	1.8 m H.L.	18 cm wire barked, single straight leader, FUCL, bushy plants
Evergreen Trees	Thuja occidentalis	3	40 cm x 1 m H.L. min 5 branches	
Deciduous Trees	Amar Chokecherry	11	60 mm H.L.	Central Leader, minimum 5 major branches, well branched full head, specimen
Deciduous Trees	Japanese Tree Lilac	3	2 m H.L. min 5 branches	well branched full head, specimen
Deciduous Trees	American Linden	7	1.5 m H.L. min 5 major branches	strong central leader, specimen
Deciduous Trees	Discovery Elm	5	85 mm o.d. H.L. 75 cm H.B.	
Shrubs	Pyrus Caragana	22	40 cm H.L.	3 gallon Container, minimum 5 major branches
Shrubs	Little Rebel Dogwood	9	30 cm H.L.	3 major basal branches 2 gal. (leaves removed)
Shrubs	Dakota Sunrise Potentilla	76	30 cm H.L.	2 gal.
Shrubs	Symphoricarpos occidentalis	72	40 cm H.L.	min. 5 major branches 2 gal.
Shrubs	Ampelopsis brevipedunculata	13	2 gal.	45 cm. spread
Grasses	Calamagrostis x scottiflora Kurt Flaxseed	259	Large Pot 3 yr. plant	
Ferns / Mosses				
Aquatic Plants				
Total Plants on Schedule		259		
Total Plants in Drawing		259		

Landscape Maintenance Notes

- Contractor to remove weeds and grasses as required to ensure proper establishment of plants. Weeds and grasses should be removed prior to planting and during the first year of establishment. Weeds and grasses should be removed from the site during the first year of establishment.
- All work to be completed for a period of 180 days after the date of acceptance. The Contractor shall be responsible for maintaining the site during this period. The Contractor shall be responsible for maintaining the site during this period. The Contractor shall be responsible for maintaining the site during this period.
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General Notes

- This drawing shall not be used for construction unless signed and sealed by the Landscape Architect.
- Revisions and modifications to the work shown will not be allowed without the prior written consent of the Landscape Architect.
- The Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
- The Contractor shall be responsible for maintaining the site during the construction period.

Planting Notes

- Contractor shall remove material that is dead or in poor condition within the project site during the construction period.
- Contractor shall be responsible for maintaining the site during the construction period.
- Contractor shall be responsible for maintaining the site during the construction period.

DEVELOPMENT EXAMINATION BRANCH

THIS PLAN IS SUBMITTED FOR APPROVAL

IN CONNECTION WITH DAV 143093/18C

SHEET # 3 OF 11

APPLICANT (SGD.)

DEV. EXAM. CWI

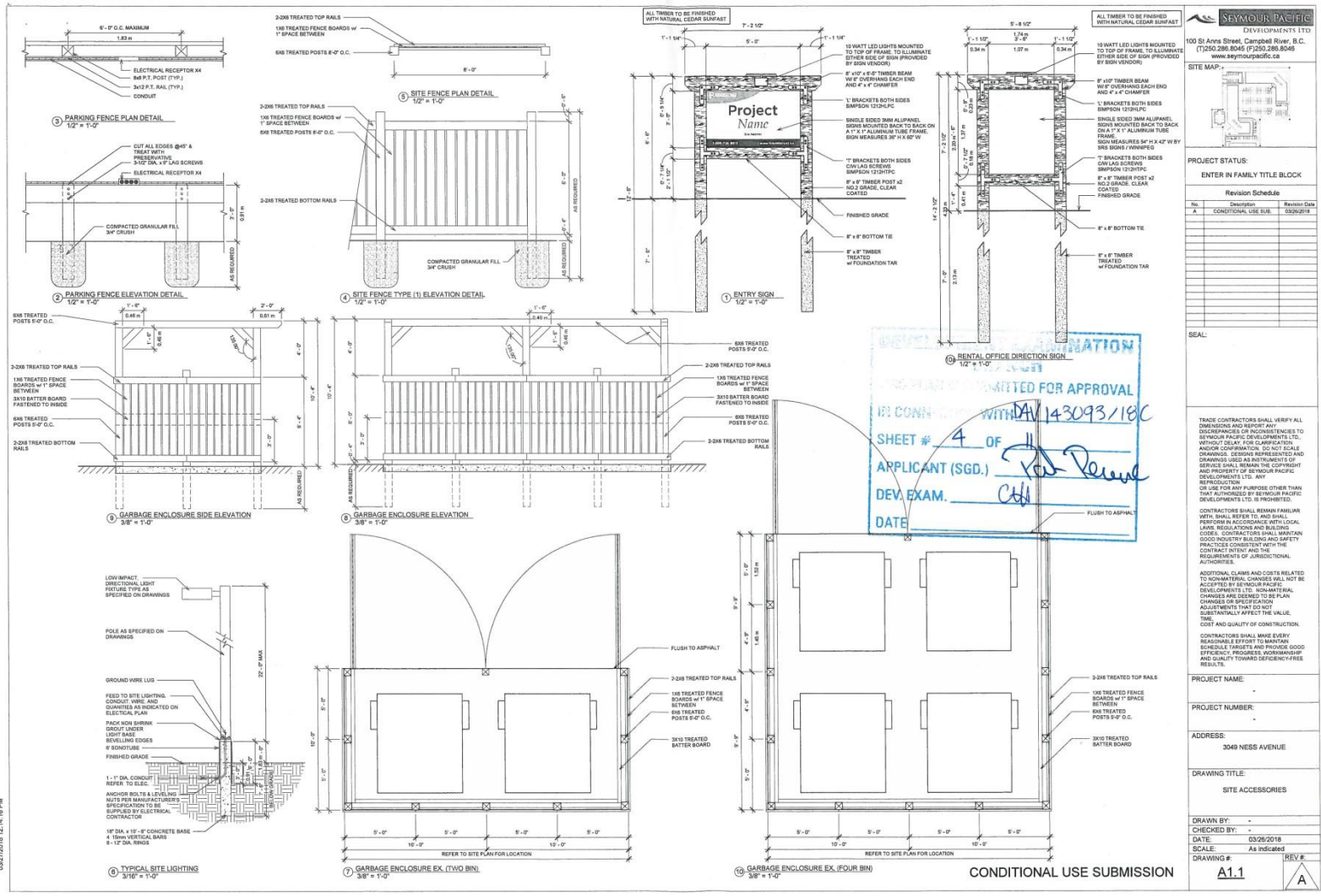
DATE July 9/10

DEAN SPEERMAN
Landscape Architect
July 2010
Municipal No. 06

3049 Ness Ave.
Winnipeg, Manitoba

Planting Plan

L-2
of 3



SEYMOUR PACIFIC DEVELOPMENTALISTS LTD.
 100 St. Anne Street, Campbell River, B.C.
 (250) 268-8045 (F)250.268.8046
 www.seymourpacific.ca



PROJECT STATUS:
 ENTER IN FAMILY TITLE BLOCK

Revision Schedule

No.	Description	Revised Date
A	CONDITIONAL USE SUB	03/28/2018

TRADE CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES OR INCONVENIENCES TO SEYMOUR PACIFIC DEVELOPMENTALISTS LTD. WITHOUT DELAY. FOR CLARIFICATION AND/OR CORRECTION, DO NOT SCALE DRAWINGS. DESIGN REPRESENTED AND CHANGES ARE THE RESPONSIBILITY OF SEYMOUR PACIFIC DEVELOPMENTALISTS LTD. CONTRACTOR SHALL MAINTAIN THE COPYRIGHT AND PROPRIETY OF SEYMOUR PACIFIC DEVELOPMENTALISTS LTD. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY SEYMOUR PACIFIC DEVELOPMENTALISTS LTD. IS PROHIBITED.

CONTRACTORS SHALL REMAIN FAMILIAR WITH, SHALL REFER TO AND SHALL PERFORM IN ACCORDANCE WITH LOCAL, LAKE, REGULATIONS AND BUILDING CODES. CONTRACTORS SHALL MAINTAIN GOOD PRACTICE BUILDING AND SAFETY PRACTICES CONSISTENT WITH THE CONTRACT INTENT AND THE REQUIREMENTS OF JURISDICTIONAL AUTHORITIES.

ADDITIONAL CHARGES AND COSTS RELATED TO NON-MATERIAL CHANGES WILL NOT BE ACCEPTED BY SEYMOUR PACIFIC DEVELOPMENTALISTS LTD. NON-MATERIAL CHANGES ARE DEEMED TO BE PLAN CHANGES OR SPECIFICATION ADJUSTMENTS THAT DO NOT SIGNIFICANTLY AFFECT THE VALUE, TIME, COST AND QUALITY OF CONSTRUCTION.

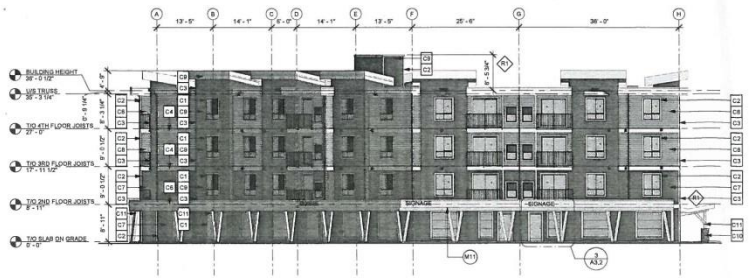
CONTRACTORS SHALL MAKE EVERY REASONABLE EFFORT TO MAINTAIN SCHEDULE, BUDGET AND PROVIDE GOOD SERVICE. PROGRESS, WORKMANSHIP AND QUALITY TOWARD DEFICIENCY-FREE RESULTS.

PROJECT NAME: -
PROJECT NUMBER: -
ADDRESS: 3040 NESS AVENUE
DRAWING TITLE: SITE ACCESSORIES

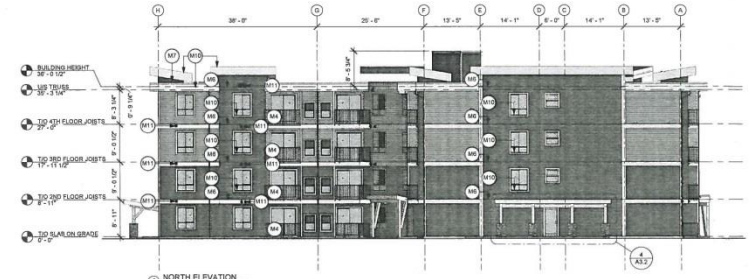
DRAWN BY: -
CHECKED BY: -
DATE: 03/28/2018
SCALE: As indicated
DRAWING #: -
REV #: A

A1.1

03/27/2018 12:14:18 PM



2 SOUTH ELEVATION
Scale: 3/32" = 1'-0"



1 NORTH ELEVATION
Scale: 3/32" = 1'-0"



3 COMMERCIAL ENTRANCE ELEVATION
Scale: 1/4" = 1'-0"



4 SIDE ENTRANCE ELEVATION
Scale: 3/16" = 1'-0"

EXTERIOR CLADDING PRODUCT		
ID	DESCRIPTION	LOCATION
CM	4" CEMENT BOARD TRIM	ARCTIC WHITE WINDOW & DOOR TRIM
CS	4" CEMENT BOARD TRIM	ARCTIC WHITE PARTITION WALL BALCONIES, BUILDING ELEVATOR SHAFT ENDS
CE	4" CEMENT BOARD TRIM	ARCTIC WHITE BUMP OUT & END WALLS
CF	12" CEMENT BOARD TRIM	ARCTIC WHITE HORIZONTAL BELLY BAND
CG	12" CEMENT BOARD TRIM	AGED PEWTER BUMP OUT WALL VENTS
CH	12" CEMENT BOARD TRIM	ARCTIC WHITE VERTICAL PARTITION
CI	2 1/2" CEMENT BOARD TRIM	ARCTIC WHITE COMMERCIAL FASCIA
CJ	PLANK - CEDAR	BOOTHBAY BLUE LEVEL 1 - 2 AS NOTED
CK	PLANK - CEDAR	PEARL GREY LEVELS 3 - 4 AS NOTED
CL	SHAKE - STRAIGHT	AGED PEWTER BUMP OUT / BUILDING ENDS
CM	CULTURED STONE	FRONT CANOPIE POSTS & BUILDING ENDS
CO	SOLID SAWN TIMBER	CLEAR FINISH FRONT CANOPIE POSTS & BUILDING ENDS
CP	CONCRETE	GREY COVERED PARKING WALLS

EXTERIOR METAL PRODUCT		
ID	DESCRIPTION	LOCATION
MM	ALUMINUM DOWNSPOUTS	BLACK REFER TO A2.8
MO	ALUMINUM RAILING - WELDED SYSTEM	BLACK REFER TO DETAIL 6M.3
MI	ALUMINUM FASCIA 12"	WHITE REFER TO DETAIL 6M.2
ML	ALUMINUM FASCIA 24"	WHITE REFER TO DETAIL 6M.2
MM	4 PANEL CLASSIC SOFFIT	WHITE REFER TO DETAIL 6M.2
MO	WALL FLASHING	WHITE
MI	PARAPET CAP FLASHING	WHITE PARAPET WALL TOPS
ML	ROOF EDGE FLASHING	BLACK REFER TO DETAIL 6M.2
MM	DRIP CAP FLASHING	WHITE
MO	REVERSE DRIP FLASHING	WHITE PLANK WINDOW TRIM
MI	PLASTIC VEIL	BLACK

EXTERIOR ROOFING PRODUCT		
ID	DESCRIPTION	COLOR
MM	888 MEMBRANE - 2 PLY	GREY

**DEVELOPMENT EXAMINATION
BRANCH**

THIS PLAN IS SUBMITTED FOR APPROVAL
IN CONNECTION WITH DAV 143093/190

SHEET # 6 OF 11

APPLICANT (SGD.) Pat Demce

DEV. EXAM. CBH

DATE _____

CONDITIONAL USE SUBMISSION

SEYMOUR PACIFIC
DEVELOPMENTS LTD.
103 St Anne Street, Campbell River, B.C.
(726) 266 8046 (F) 250.266.8046
www.seymourpacific.ca

SITE MAP:

PROJECT STATUS:
ENTER IN FAMILY TITLE BLOCK

Revision Schedule

No.	Description	Revision Date
A	CONDITIONAL USE SUB.	03/26/2018

SEAL:

TRADE CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES OR INCONSISTENCIES TO SEYMOUR PACIFIC DEVELOPMENTS LTD. WITHOUT DELAY. FOR CLARIFICATION AND/OR CORRECTION, DO NOT SCALE DRAWINGS. DESIGN REPRESENTED AND DRAWINGS USED AS PROVIDED. SERVICE SHALL REMAIN THE COPYRIGHT AND PROPERTY OF SEYMOUR PACIFIC DEVELOPMENTS LTD. ANY REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. IS PROHIBITED.

CONTRACTORS SHALL REMAIN FAMILIAR WITH, SHALL REFER TO AND SHALL PERFORM IN ACCORDANCE WITH LOCAL LAWS, REGULATIONS AND BUILDING CODES. CONTRACTORS SHALL MAINTAIN GOOD RELIABLE BUILDING AND SAFETY PRACTICES CONSISTENT WITH THE CONTRACT INTENT AND THE REQUIREMENTS OF JURISDICTIONAL AUTHORITIES.

ADDITIONAL CLAIMS AND COSTS RELATED TO NON-MATERIAL CHANGES WILL NOT BE ACCEPTED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. NON-MATERIAL CHANGES ARE DEEMED TO BE PLAN CHANGES OR SPECIFICATION ADJUSTMENTS THAT DO NOT SUBSTANTIALLY AFFECT THE VALUE, TIME COST AND QUALITY OF CONSTRUCTION.

CONTRACTORS SHALL MAKE EVERY REASONABLE EFFORT TO MAINTAIN SCHEDULED STARTS AND FINISHES GOOD WILL & BEST INTERESTS, WORKMANSHIP AND QUALITY TOWARDS DEFECT-FREE RESULTS.

PROJECT NAME: _____

PROJECT NUMBER: _____

ADDRESS: 3040 NESS AVENUE

DRAWING TITLE: BUILDING A - NORTH & SOUTH ELEVATIONS

DRAWN BY: Aurifer

CHECKED BY: Checker

DATE: 03/26/2018

SCALE: As Indicated

DRAWING # **A3.2** REV # **A**

03/26/2018 11:13:46 AM



PROJECT STATUS:
 ENTER IN FAMILY TITLE BLOCK

No.	Description	Revised Date
A	ISSUED FOR CON. USE	03/26/2018

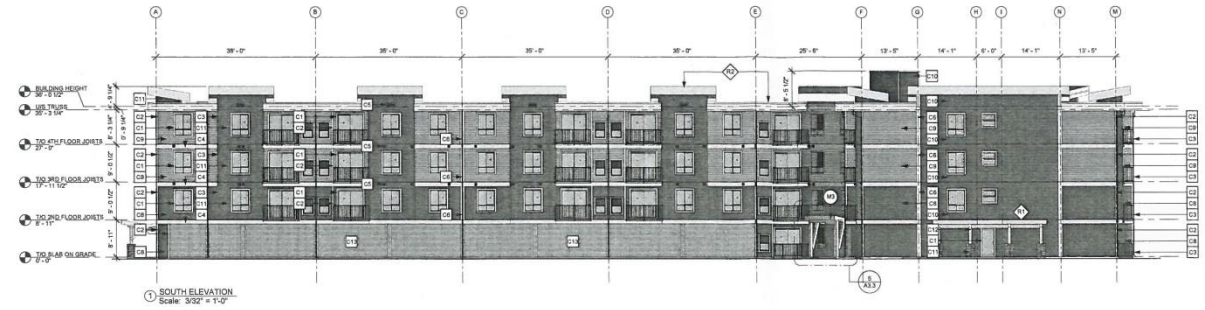
SEAL:

TRADE CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES OR INCONGRUENCIES TO THE ARCHITECT IMMEDIATELY WITHOUT DELAY. FOR CLARIFICATION AND/OR CORRECTION, DO NOT SCALE DRAWINGS. DESIGN REPRESENTED AND DRAWINGS USED AS INSTRUMENTS OF SERVICE SHALL REMAIN THE COPYRIGHT AND PROPERTY OF SEYMOUR PACIFIC DEVELOPMENTS LTD. ANY REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. IS PROHIBITED.

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CONTRACTORS SHALL MAKE EVERY REASONABLE EFFORT TO MAINTAIN SCHEDULE, BUDGET AND PROVIDE GOOD SERVICE THROUGH HONORABLE AND QUALITY TOWARD DEFICIENCY-FREE RESULTS.



1 SOUTH ELEVATION
 Scale: 3/32" = 1'-0"



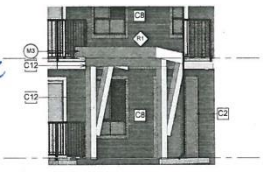
2 NORTH ELEVATION
 Scale: 3/32" = 1'-0"

03/26/2018 11:03:26 AM

EXTERIOR CLADDING PRODUCT		
CD	DESCRIPTION	LOCATION
C1	4" CEMENT BOARD TRIM	ARCTIC WHITE WINDOW & DOOR TRIM
C2	4" CEMENT BOARD TRIM	ARCTIC WHITE PARTITION WALL, BALCONIES, BUILDING ENDS, ELEVATOR SHAFT ENDS
C3	4" CEMENT BOARD TRIM	ARCTIC WHITE BUMP OUT & END WALLS
C4	12" CEMENT BOARD TRIM	ARCTIC WHITE HORIZONTAL BELLY BAND
C5	12" CEMENT BOARD TRIM	AGED PEWTER BUMP OUT WALL VENTS
C6	12" CEMENT BOARD TRIM	ARCTIC WHITE VERTICAL PARTITION
C7	3" CEMENT BOARD TRIM	ARCTIC WHITE COMMERCIAL FASCIA
C8	PLANK - CEDARWIL	BOOTHBAY BLUE LEVEL 1-2 AS NOTED
C9	PLANK - CEDARWIL	PEARL GREY LEVELS 3-4 AS NOTED
C10	SHAKE - STRAIGHT	AGED PEWTER BUMP OUT/BUILDING ENDS
C11	CULTURED STONE	- FRONT CANOPIES POSTS & BELONG ENDS
C12	SOLID SAWN TIMBER	CLEAR FINISH FRONT CANOPIES POSTS & BELONG ENDS
C13	CONCRETE	GREY COVERED PARKING WALLS

EXTERIOR METAL PRODUCT		
MD	DESCRIPTION	LOCATION
M1	ALUMINUM DOWNSPOUTS	BLACK REFER TO A2.13
M2	ALUMINUM RAILING - WELDED SYSTEM	BLACK REFER TO DETAIL 60A.3
M3	ALUMINUM FASCIA 12"	BLACK REFER TO DETAIL 60A.2
M4	ALUMINUM FASCIA 24"	WHITE REFER TO DETAIL 60A.2
M5	4 PANEL CLASSIC ROFFIT	WHITE REFER TO DETAIL 60A.2
M6	SHALL FLASHING	WHITE -
M7	PARAPET CAP FLASHING	WHITE PARAPET WALL TOPS
M8	ROOF EDGE FLASHING	BLACK REFER TO DETAIL 60A.2
M9	DRIP CAP FLASHING	WHITE -
M10	REVERSE DRIP FLASHING	WHITE PLANK WINDOW TRIM
M11	PLASTIC VENT	BLACK -

DEVELOPMENT DETERMINATION BRANCH
 THIS PLAN IS SUBMITTED FOR APPROVAL IN CONNECTION WITH DAV 143093/18C
 SHEET # 7 OF 11
 APPLICANT (SGD.) *Paul Lewis*
 DEV. EXAM. *Cobb*
 DATE _____



6 FRONT ENTRY ELEVATION
 Scale: 1/4" = 1'-0"

ISSUED FOR CONDITIONAL USE

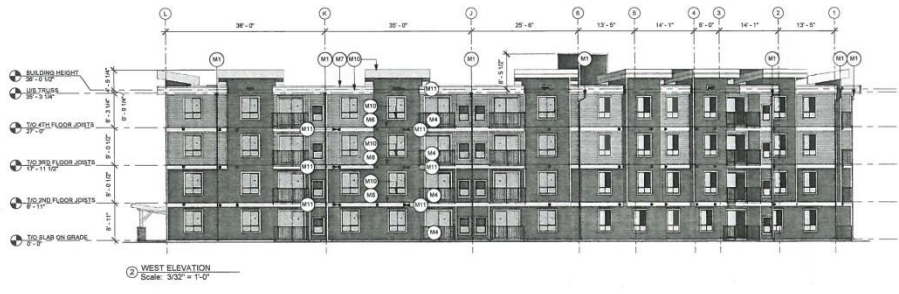
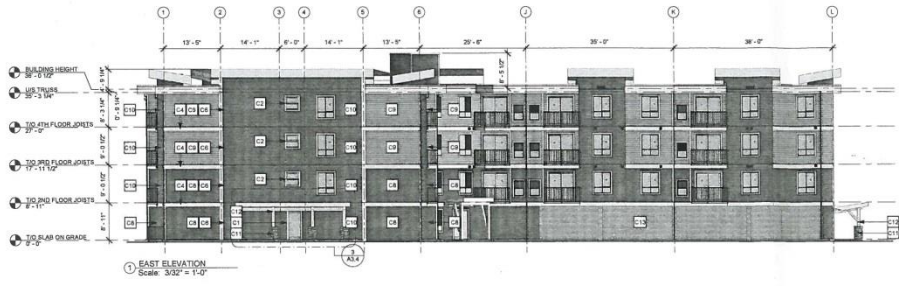
PROJECT NAME:
 ENTER IN FAMILY TITLE BLOCK

PROJECT NUMBER:
 ENTER IN FAMILY TITLE BLOCK

ADDRESS:
 ENTER IN FAMILY TITLE BLOCK

DRAWING TITLE:
 BUILDING B NORTH & SOUTH ELEVATIONS

DRAWN BY: K.DELINE
 CHECKED BY: R.FORMOSA
 DATE: 03/26/2018
 SCALE: As Indicated
 DRAWING #: **A3.3** REV # **A**



**DEVELOPMENT EXAMINATION
BRANCH**

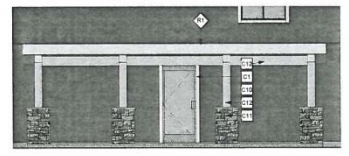
THIS PLAN IS SUBMITTED FOR APPROVAL
IN CONNECTION WITH DAV 143093/12C

SHEET # B OF 4

APPLICANT (SGD.) Kate Rene

DEV. EXAM. OK

DATE _____



③ SIDE ENTRY ELEVATION
Scale: 1/4\"/>

EXTERIOR CLADDING PRODUCT			
CD	DESCRIPTION	COLOR	LOCATION
C1	4\"/>		

EXTERIOR METAL PRODUCT			
MD	DESCRIPTION	COLOR	LOCATION
M1	ALUMINUM DOWNSPOUTS	BLACK	REFER TO A2.13
M2	ALUMINUM BALCONY - WELDED SYSTEM	BLACK	REFER TO DETAIL 68A.3
M3	ALUMINUM FASCIA 12\"/>		

EXTERIOR ROOFING PRODUCT		
RD	DESCRIPTION	COLOR
R1	SBS MEMBRANE - 2 PLY	GREY

ISSUED FOR CONDITIONAL USE

SEYMOUR PACIFIC
DEVELOPMENTS LTD.
100 St Anne Street, Campbell River, B.C.
(726) 286-8045 (F) 250-286-8048
www.seymourpacific.ca



PROJECT STATUS:
ENTER IN FAMILY TITLE BLOCK

Revision Schedule		
No.	Description	Revision Date
A	ISSUED FOR COND. USE	03/06/2018

SEAL:

TRADE CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES OR INCONCURRENCES TO THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK WITHOUT DELAY FOR CLARIFICATION AND/OR CORRECTIONS. DO NOT SCALE DRAWINGS. DESIGNS REPRESENTED AND DRAWINGS USED AS INSTRUMENTS OF SERVICE SHALL REMAIN THE COPYRIGHT AND PROPERTY OF SEYMOUR PACIFIC DEVELOPMENTS LTD. ANY REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. IS PROHIBITED.

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PROJECT NAME:
ENTER IN FAMILY TITLE BLOCK

PROJECT NUMBER:
ENTER IN FAMILY TITLE BLOCK

ADDRESS:
ENTER IN FAMILY TITLE BLOCK

DRAWING TITLE:
BUILDING B EAST & WEST ELEVATIONS

DRAWN BY: Author

CHECKED BY: Checker

DATE: 03/06/2018

SCALE: As indicated

DRAWING # A3.4 REV # A

03/06/2018 11:52:26 AM



PROJECT STATUS:
ENTER IN FAMILY TITLE BLOCK

Revision Schedule

Rev.	Description	Revision Date
A	CONDITIONAL USE SUB.	03/26/2018

SEAL

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PROJECT NAME:

PROJECT NUMBER:

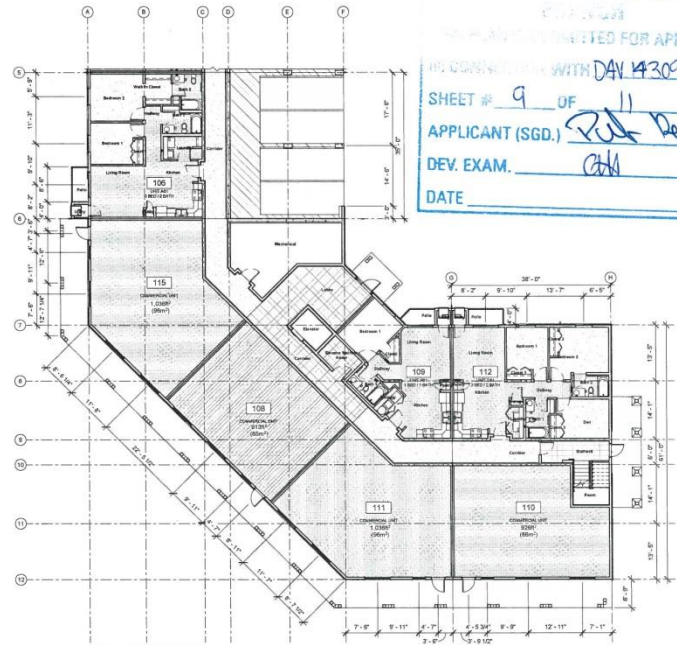
ADDRESS:
3049 NESS AVENUE

DRAWING TITLE:
BUILDING A FIRST & SECOND FLOOR PLAN (1)

DRAWN BY: K. DELINE
CHECKED BY: R. FORMOSA
DATE: 03/26/2018
SCALE: As indicated

DRAWING # A2.4
REV # A

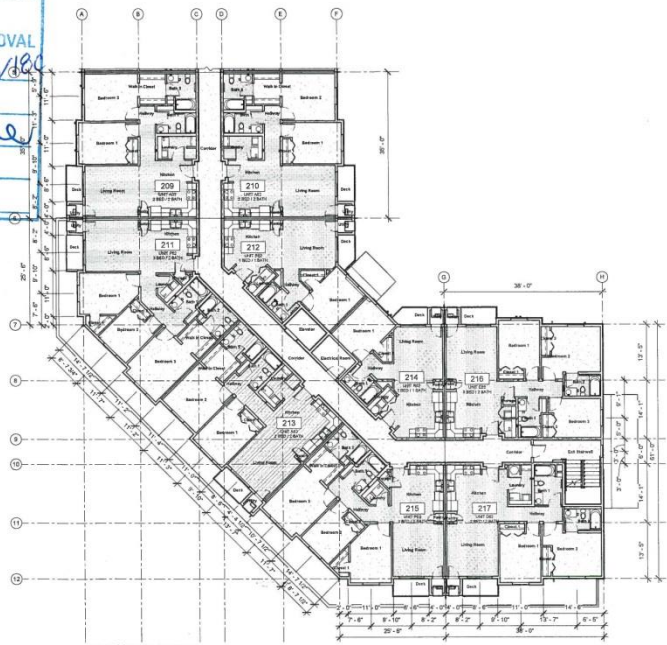
DEPARTMENT EXAMINATION
OFFICE
THIS PLAN IS SUBMITTED FOR APPROVAL
IN CONNECTION WITH DAV 143093/180
SHEET # 9 OF 11
APPLICANT (SGD.) *Pete Deuel*
DEV. EXAM. *CHH*
DATE



1 1st FLOOR BUILDING PLAN
Scale: 3/32" = 1'-0"

PLACE WATER SHUT OFF IN VISIBLE LOCATION IN UNITS LAUNDRY ROOM

FLOOR AREA = 13,589.77 ft²



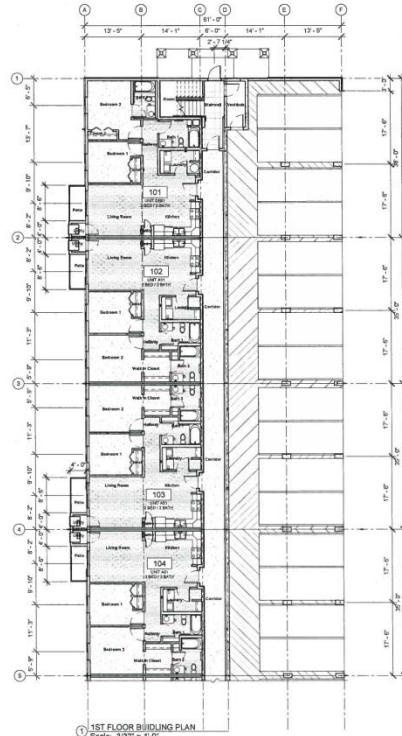
3 2nd FLOOR BUILDING PLAN
Scale: 3/32" = 1'-0"

FLOOR AREA = 18,805.47 ft²

PLACE WATER SHUT OFF 48" FROM FINISHED FLOOR BEHIND WASHER IN UNITS LAUNDRY ROOM

CONDITIONAL USE SUBMISSION

03/26/2018 11:30:52 AM



1 1ST FLOOR BUILDING PLAN
Scale: 3/32" = 1'-0"

PLACE WATER SHUT OFF IN VISIBLE LOCATION IN UNITS LAUNDRY ROOM

FLOOR AREA = 13,589.77 ft²

**DEVELOPMENT EXAMINATION
BRANCH**

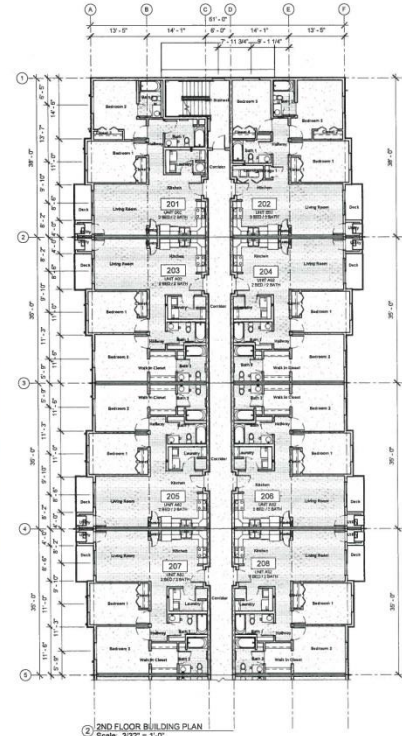
THIS PLAN IS SUBMITTED FOR APPROVAL
IN CONNECTION WITH DAV 1A-3093/180

SHEET # 10 OF 11

APPLICANT (SGD.) *Rob Rees*

DEV. EXAM. *CDH*

DATE



2 2ND FLOOR BUILDING PLAN
Scale: 3/32" = 1'-0"

FLOOR AREA = 18,805.47 ft²

PLACE WATER SHUT OFF 4" FROM FINISHED FLOOR BEHIND WASHER IN UNITS LAUNDRY ROOM

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100 St Ann's Street, Campbell River, B.C.
(250) 266-8045 (F) 250-266-8048
www.seymourpacific.ca



PROJECT STATUS:
ENTER IN FAMILY TITLE BLOCK

Revision Schedule

Rev.	Description	Revision Date
A	CONDITIONAL USE SUB.	03/06/2018

SEAL:

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PROJECT NAME: _____

PROJECT NUMBER: _____

ADDRESS: 3049 NESS AVENUE

DRAWING TITLE: BUILDING A FIRST & SECOND FLOOR PLAN (2)

DRAWN BY: Author

CHECKED BY: Checker

DATE: 03/06/2018

SCALE: 3/32" = 1'-0"

DRAWING # _____ REV # _____

A2.5

CONDITIONAL USE SUBMISSION

03/06/2018 11:30:17 AM

