

ADMINISTRATIVE REPORT

Title: Plan Approval – 865 St. James Street

Issue: For consideration at the Community Committee for the construction of a commercial building within an existing commercial site.

Critical Path: Assiniboia Community Committee as per DAV 12-14433/C and DCU 12-144349/C

AUTHORIZATION

Author	Department Head	CFO	CAO
B. Smith, RPP	N/A	N/A	

RECOMMENDATIONS

The Urban Planning Division recommends that the Assiniboia Community Committee **approve** the submitted plans subject to the following condition(s)

1. *That, the applicant shall close existing approaches (identified in figure 2) and construct a continuous curb along the southern edge of the site under consideration. The curb shall then be seeded, sodded or landscaped to the satisfaction of the Director of Planning, Property and Development.*

REASON FOR THE REPORT

Plans are required to be submitted as per DAV 12-144333/C and DCU 12-144349/C which states that;

“That for the development of any building or structure, plans shall be submitted showing the location and design of proposed buildings, the location and design of accessory parking areas, garbage enclosures, fencing, signage and landscaping to the Assiniboia Community Committee and the Director of Planning, Property and Development for plan approval prior to the issuance of any building or development permit, and thereafter to be maintained to the satisfaction of the Director of Planning, Property and Development “

The applicant has submitted a nine (9) page design package including:

- Existing site layout
- New building location and design
- Accessory parking areas
- Garbage enclosures

- Fencing
- Signage
- Landscaping

HISTORY

DAV 12-144333/C and DCU 12-144349/C

On July 18, 2012 the Board of Adjustment concurred in the recommendation of the Winnipeg Public Service and approved both the variance and conditional use application to permit the construction of a commercial building on site.

Condition No 2 of DAV 12-144333/C and No 3 of DCU 12-144349/C requires submission of plans for approval by the Assiniboia Community Committee and the Director of Planning, Property and Development.

The plan approval condition states:

“That for the development of any building or structure, plans shall be submitted showing the location and design of proposed buildings, the location and design of accessory parking areas, garbage enclosures, fencing, signage and landscaping to the Assiniboia Community Committee and the Director of Planning, Property and Development for plan approval prior to the issuance of any building or development permit, and thereafter to be maintained to the satisfaction of the Director of Planning, Property and Development “

PA 18-162676 ZR

On September 11, 2018 the Assiniboia Community Committee concurred in the recommendation of the Winnipeg Public Service and approved submitted plans under File PA 18-162676 ZR subject to one condition:

“That the applicant shall submit plans showing the design of proposed buildings, including elevations identifying proposed finishing materials & colours, and landscape plans to the Assiniboia Community Committee and the Director of Planning, Property and Development for plan approval.

It is important to note that the September 11 2018 Assiniboia Community Committee approval is no longer applicable as significant changes has been made to the plans submitted under File PA 18-162676 ZR.

IMPLICATIONS OF THE RECOMMENDATIONS

If the recommendations of the Urban Planning Division are concurred in, the applicant will meet the requirements for plan approval as per the conditions of approval for DAV 12-144333/C and DCU 12-144349/C.

SUBMITTED BY

Department Planning, Property and Development
Division Urban Planning
Prepared by Femi Ojo, MCIP, RPP
Date: April 1, 2019
File No. PA 19 115125 000 00

APPENDIX 'A'

DATE: April 1, 2019
FILE: PA 19 115125 000 00 ZR
RELATED FILES: DAV 12-144333/C; DCU 12-144349
COMMUNITY: Assiniboia Committee
NEIGHBOURHOOD #: 2.125 (Polo Park)

SUBJECT: Plan Approval for the proposed construction of a commercial establishment.

LOCATION: 865 St. James Street (Lot 1, Plan 54622 W.L.T.O)

APPLICANT: Rick Marshall (Bird Construction)
1055 Erin Street
Winnipeg, Manitoba, R3G 2X1

OWNER: 7113196 Manitoba Ltd
1355 Taylor Ave.
Winnipeg MB.

RECOMMENDATION: Approval, with one condition

SITE DESCRIPTION

- The subject property is located at the south east corner of St. James Street and St. Mathews Avenue, in the Polo Park Neighborhood of the St. James – Brooklands Weston Ward.
- The site is located within the “Area of Stability – Mature Community” policy area under the *Complete Communities Direction Strategy*.
- The property is zoned “C3” Commercial Corridor and is approximately 8 acres in size.



Figure 1: Subject Site and Surrounding Land Uses (flown 2018)

DESCRIPTION AND DISCUSSION OF THE PROPOSED DEVELOPMENT:

- The applicant has submitted design drawings for a 6,248.66 sq. ft. (583.86 Square metres) stand-alone commercial building to house a restaurant/drinking establishment. The proposed commercial building will be located at the south east corner of the existing commercial site.
- The proposed building would be one storey in height
- Key design highlights from the submitted drawings include:
 - existing site layout and the location of the proposed commercial building
 - proposed building materials (concrete, brick, steel, Aluminum composite, decorative painting and different types of wall cladding).
 - landscape plan showing plant names, location and number.
 - Vehicle and bicycle parking area.
 - illuminated fascia signage (restaurant brand name) attached to the front and side elevation façade.
 - A horse statue (in a porcelain tile finish) along the entrance way.

- Photo rendering of different building elevations.



Figure 2: Aerial Map Showing Curb Area Recommended To Be Closed

Condition of approval

A condition of approval has been added to ensure that the existing access to the subject site (identified on Figure 2 above) should be closed through the construction of a continuous curb. The continuous curb being recommended is a preferred design alternative instead of the proposed temporary barriers shown in the submitted plans.

REASONS FOR RECOMMENDATION

The Urban Planning division recommends approval of the site plans submitted for the following reasons:

- The *Complete Communities Direction Strategy* encourages low to moderate change in Areas of Stability that is complimentary to the existing scale, character and built form. Given that the proposal is for the establishment of commercial building within an existing commercial establishment, the proposal is consistent with, similar in scale and would complement existing commercial use on site.
- Being that the submitted site plan meets the intent of conditions of approval as per DAV 12-144333/C and DCU 12-144349/C, it is therefore recommended that the Assiniboia Community Committee approve the plans as submitted.

This Report Submitted by:
Planning, Property and Development Department
Urban Planning Division
Report Prepared by: Femi Ojo, MCIP, RPP
PPD File # PA 19 115125 000 00 ZR

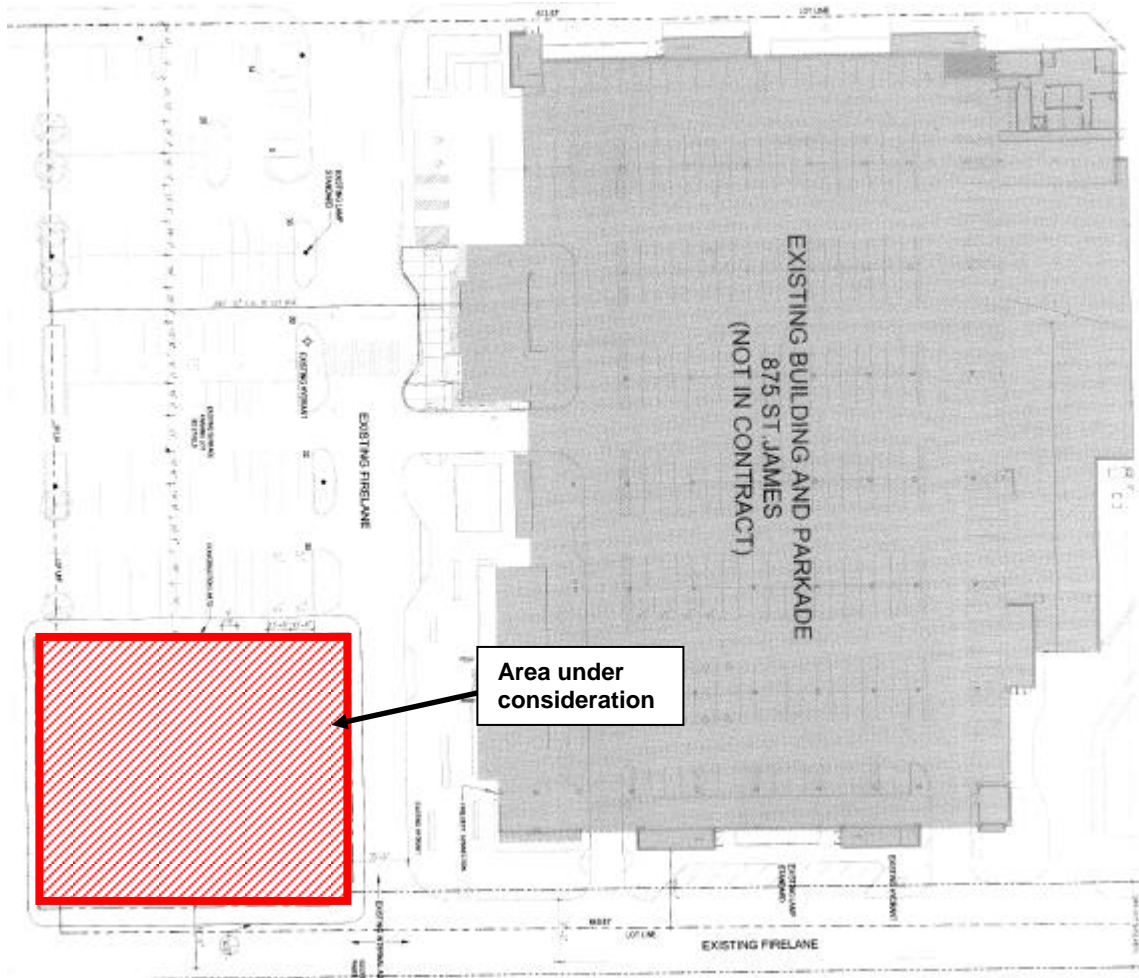


Figure 3: Existing Site Layout Plan

