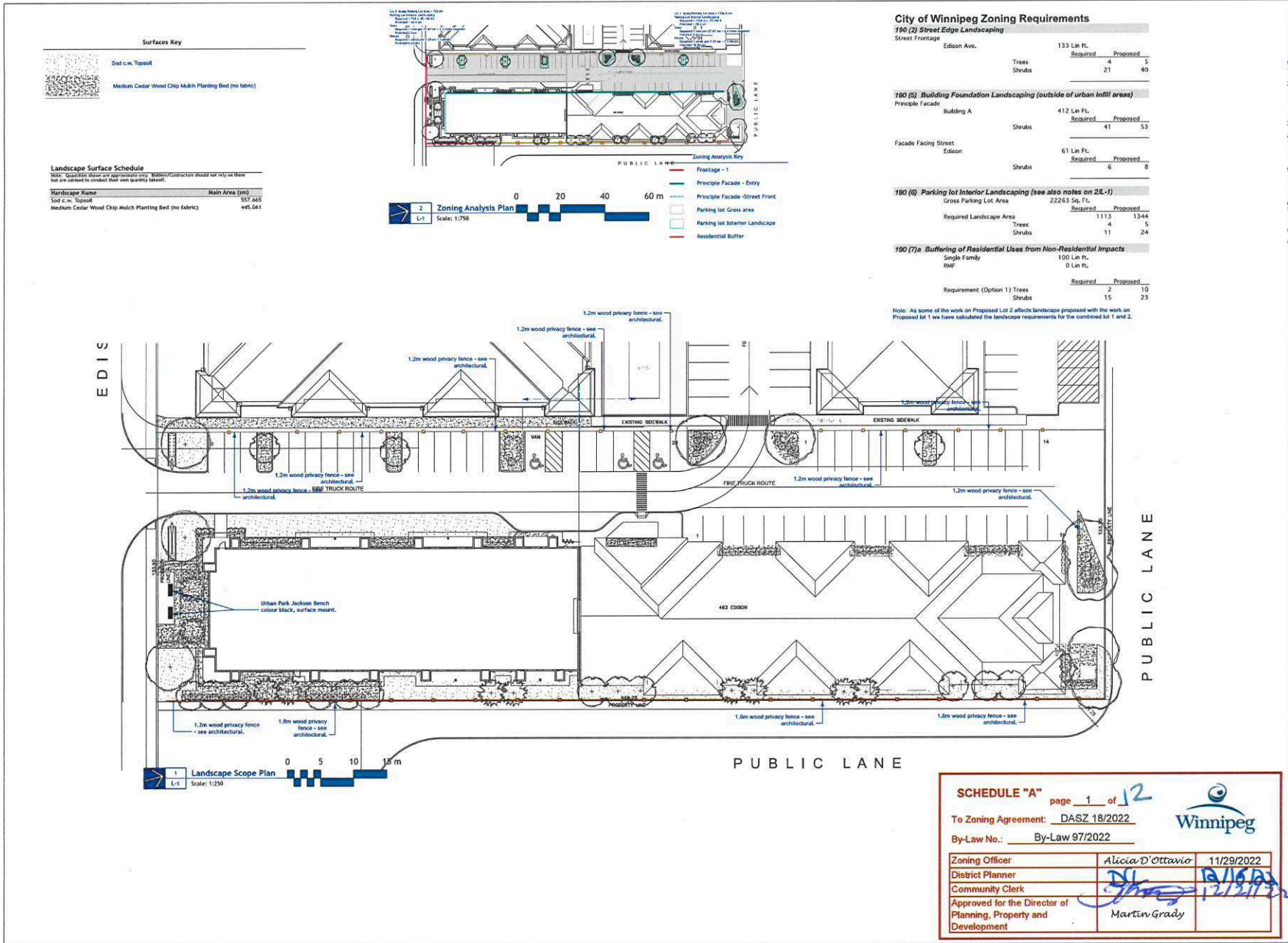


**\*Please note: Approved plans are subject to any amendments or conditions made by Community Committee.**



**\*Please note: Approved plans are subject to any amendments or conditions made by Community Committee.**

Plant Schedule	Botanical Name	Qty	Scheduled Size (Containerized trees will not be accepted)
<b>Common Name</b>			
<b>Evergreen Trees</b>			
Black Hills Spruce	Picea glauca 'Black Hills'	10	--- 80 cm dia. root ball, evenly branched, full bushy trees, no broken leaders, well branched to grade, balled & burlapped or tree mover, wire basket, Guy wire.
<b>Trees</b>			
Spring Snow Flowering Crab Apple	Malus 'Spring Snow'	3	50 mm ø 1.0-1.5m height, 10 major branches 1.7m above grade, balled & burlapped or tree mover, wire basket, Double stake where required.
Gladiaator Apple	Malus x adstringers 'Durtel'	12	50 mm ø 2.0-2.5m height, 10 major branches 1.7m above grade, balled & burlapped or tree mover, wire basket, Double stake where required.
Norlin Littleleaf Linden	Tilia cordata 'Royal'	3	45 mm ø 4.0-5m height, 75 cm dia. root ball, 12 major branches, 2.0m above grade, balled & burlapped or tree mover, wire basket, Double stake where required.
Harvest Gold Linden	Tilia mongolica 'Harvest Gold'	2	45 mm ø 4.0-5m height, 75 cm dia. root ball, 12 major branches, 2.0m above grade, balled & burlapped or tree mover, wire basket, Double stake where required.
Discovery Elm	Ulmus davidiana japonica 'Discovery'	4	45 mm ø 4.0-5m height, 75 cm dia. root ball, 12 major branches, 2.0m above grade, balled & burlapped or tree mover, wire basket, Double stake where required.
<b>Shrubs</b>			
Little Rebel Dogwood	Cornus alba 'Jeffrey'	33	30 cm ht. 5 major basal branches 2 gal. (Jeffrey Introduction)
Dwarf Winged Burning Bush	Euonymus alata 'Compacta'	27	30 cm ht. 3 gallon minimum 5 branches full bushy plants
Turkesean Euonymus	Euonymus turkestanica nana	8	30 cm ht. 4 minimum major basal branches. Well formed, bushy plants. 2 gallon container stock.
Burgundy Candy Hibiscus	Physocarpus opulifolius 'Podaras'	36	45 cm ht. 4 minimum major basal branches. Well formed, bushy plants. 2 gallon container stock.
Coronation Triumph Potentilla	Potentilla fruticosa 'Coronation Triumph'	47	30 cm ht. 4 minimum major basal branches. Well formed, bushy plants. 2 gallon container stock.
McKay's White Potentilla	Potentilla fruticosa 'McKay's White'	6	25 cm. ht. 4 minimum major basal branches. Well formed, bushy plants. 2 gallon container stock.
Fairer Spirea	Spiraea tortifolia	6	45 cm. ht. 4 minimum major basal branches. Well formed, bushy plants. 2 gallon container stock.
Gold Mound Spirea	Spiraea bumalda 'Goldmound'	16	30 cm ht. 2 gallon. Minimum 5 major branches
Dwarf Korean Lilac	Syringa meyeri 'Palibin'	6	60 cm ht. 4 minimum major basal branches. Well formed, bushy plants. 2 gallon container stock.
<b>Evergreen Shrubs</b>			
<b>Perennials</b>			
<b>Ornamental Grasses</b>			
Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora Karl Foerster	37	Large Pot 2 yr. plant
<b>Ferns / Mosses</b>			
<b>Vines</b>			
<b>Aquatic Plants</b>			
Total Plants on Schedule		254	
Total Plants in Drawing		254	

**SCHEDULE "A"** page 2 of 12

To Zoning Agreement: DASZ 18/2022

By-Law No.: \_\_\_\_\_ By-Law 97/2022

Zoning Officer	Alicia D'Ottavio	11/29/2022
District Planner	DL	10/16/22
Community Clerk	DM	12/21/22
Approved for the Director of Planning, Property and Development	Martin Grady	

**Planting Notes**

- All plant material, including trees, shrubs, perennials and sod, shall conform to Canadian Standards for Nursery Stock, 9th edition as published by the Canadian Nursery and Landscape Association.
- All planting shall conform to the Cautelan Landscape Standard (CLS) Current Edition.
- As per CLS 9.3.4.2.1, Wire baskets should not be removed from rootballs. Any visible portion should be folded down away from the rootball and buried. Where the wire basket is oversized such that the top wire is higher than the grade, any visible portions should be folded down away from the rootball or the basket shall be cut back to a minimum of 10cm (4in.) below the surface of the growing medium.
- As per CLS 9.3.4.1,
  - All planting hole depths should only be dug deep enough to accommodate the root system or root mass at the desired depth relative to the surrounding grade.
  - Root balls shall be placed on the undisturbed subgrade to prevent settling.
  - With the exception of woody plants, plants shall be planted so that after settlement the level of the adjacent growing medium surface matches the level of the original growing medium surface in the nursery. The growing medium mark on the stem is an indication of planting depth, and it shall be maintained on the finished level, allowing for settling of the growing medium after planting. The total depth of rootballs shall be planted in the growing medium.
  - Woody plants shall be planted with the root flange 5.0cm (2in.) above finish grade.
  - Plants shall be set plumb in the planting beds or in the centre of the pits, except where the plant's character requires variation from this.
- No substitutions for plant material will be allowed without prior written consent of the Landscape Architect.
- All plants are to be installed as per the details provided.
- Minimum tree spacing to be 1m for deciduous trees and 4 m for coniferous trees.
- All plants shall be located or proposed locations staked out prior to installation. Street tree locations are schematic only. Trees shall be planted 1.8 m from curb and a minimum of 1.8 m from driveway aprons and 4 m from street light. Conifers shall be located min 4 m from sidewalks. Landscape architect is to approve location prior to digging. Landscape Architect reserves the right to adjust locations of proposed plant material prior to installation.
- Karl Foerster Feather Reed Grass shall be installed in a green and healthy condition. Sod shall be cut minimum once every week during May and June and once every 10 days during July to October or more frequently if growing conditions are such as require added cutting to keep the grass in good and neat condition.
- Sod and planting beds shall be fertilized not less than three times per growing season.
- At the end of each growing season Contractor is to ensure that tree is properly fitted with robust protection as per the planting detail.
- Contractor shall guarantee new plant material for a period of two calendar years from the date of owner acceptance. Warranty shall only begin after the installation and acceptance of all landscape materials. The Landscape Architect reserves the right to extend the warranty of material found in poor condition at the end of the warranty period for a further calendar year. Contractor shall replace material found to be dead or in poor condition within two weeks of being notified by the Landscape Architect.

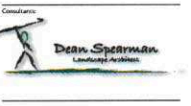
**Landscape Maintenance Notes**

- Landscape Maintenance work shall conform to the Canadian Landscape Standard (Current Edition) to the "Groomed" level.
- Maintain all site landscaping for a period of two years after the recognized completion date and until acceptance (end of maintenance) by the Contract Administrator. Should the recognized completion date occur after September 15th there will be a further 30 day maintenance period beginning on May 1st of the following year.
- Contractor is to control pests and diseases as required. Contractor shall inform the Contract Administrator prior to applying pesticides and use only those pesticides of low mammalian toxicity. Persons applying pesticides shall have a valid pesticide application license and strictly follow manufacturers instructions regarding the application of the chemicals and the safety precautions required to apply them.
- Contractor shall maintain trees and planting beds to a weed free condition throughout the maintenance period. Weed should be removed frequently and not left to establish for a period greater than 10 days.
- Pruning shall be done by persons with a valid qualification (i.e. Tree Pruner License) from the local authority. Pruning shall be as necessary to remove dead or damaged limbs as well as maintain species typical form and healthy growth. Pruning shall be done in accordance with industry accepted methods to standard good practice. In the event of a disagreement the opinion of the Contract Administrator as to what constituted standard good practice shall be considered final.
- The replacement of any new deciduous or coniferous plant material shall initiate the start of an additional 2 year maintenance on the replaced plant.
- Tree support and stakes are to be inspected at each watering/maturing to ensure that they are properly adjusted.
- Water shall be applied as required to maintain optimum conditions. During dry weather the Contractor should expect to water on a weekly basis. Each tree is to be thoroughly watered when it is watered (40 liters per 25 mm of rainfall). Contractor is to avoid over watering by reducing the frequency during wet weather.
- Tree support and stakes are to be inspected at a green and healthy condition. Sod shall be cut minimum once every week during May and June and once every 10 days during July to October or more frequently if growing conditions are such as require added cutting to keep the grass in good and neat condition.
- Sod and planting beds shall be fertilized not less than three times per growing season.
- At the end of each growing season Contractor is to ensure that tree is properly fitted with robust protection as per the planting detail.

**General Notes**

- All work to conform to Canadian Landscape Standard (Current Edition)
- All existing trees, sidewalks, curbs, catch basins, culverts, survey markers, to remain are to be protected during construction. Any damage to them is to be made good by the Contractor. Maintain positive drainage into all catch basins and curb inlets.
- All work is to be warranted for a period of not less than 1 year.
- Contractor is to limit operations to the area within the area of work shown on the drawing. Should areas outside of this limit be damaged during the course of construction, Contractor is to make good the damage at his own expense.
- Contractor is to obtain location of all utilities prior to construction. If using power equipment to excavate contractor must notify Hydro and Gas and telephone utilities and take steps to avoid damaging their installations.
- All dimensions are in meters unless otherwise noted.
- Contractor to confirm all dimensions and report any discrepancies to Contract Administrator prior to construction.
- Layout is to be approved by Contract Administrator prior to any construction or demolition removals.
- All material depths in details are shown after compaction.

E Added Front Plan	2022-05-17	DJS
F Added Entry Ramp/Entrance	2022-04-18	DJS
G Owners 23X Comments Addressed	2022-02-10	DJS
H Revised to Address Variance Concerns	2022-02-21	DJS
I For Variance Application	2021-10-09	DJS
KL Revision	_____	_____



Designs and project related information are the property of the architect. The copyright in the same being reserved to him. No reproduction may be made without the permission of the architect, and who make make them his own. All plans to be marked to architect.

The contractor shall verify dimensions and the owner's name with conditions on the site and be held responsible for reporting any discrepancies to the architect for adjustment, prior to proceeding.

465 Edison  
Winnipeg, Manitoba

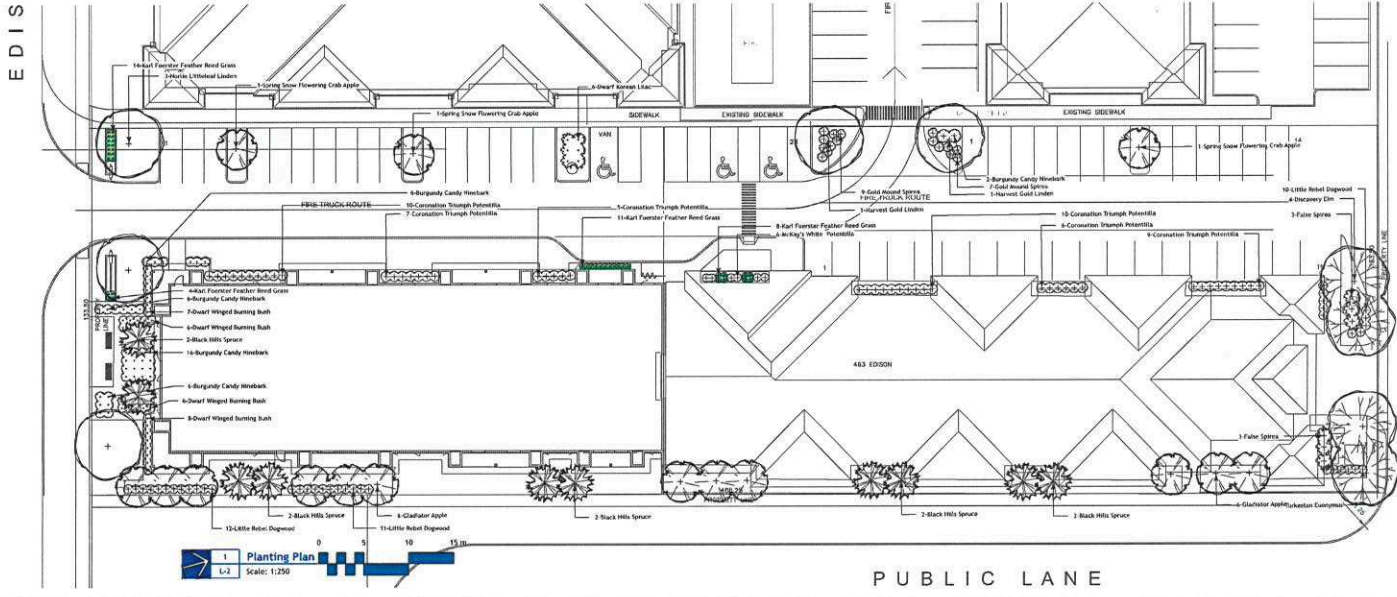
465 Edison

Planting Plan

Drawn by: DJS Checked by: DJS

L-2

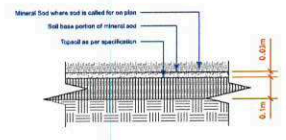
Project No: 21602 Date: August 9, 2021



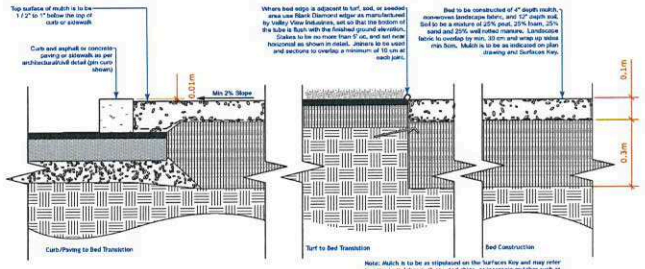


**\*Please note: Approved plans are subject to any amendments or conditions made by Community Committee.**

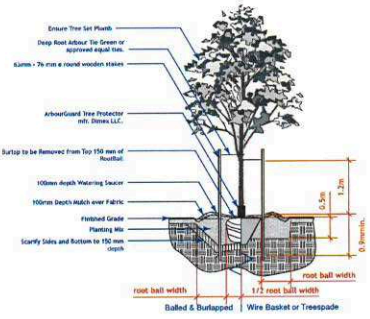
**Topsoil Form:**  
 All topsoil required for Sod or Sod+ Mulch must consist of a screened (10mm) or screen-and-undersized dark lignite, a highly fertile material (higher of heavy clay) soil of very light sandy texture contained by volume, a minimum of 80% (85% percent for clay loam and less (7% percent for sandy loam) to a maximum (weight) fine (20% percent) organic matter level, stable moisture or suspended material and capable of supporting vigorous plant growth. Topsoil shall be free of animal contamination, roots, stems over 20cm in diameter, other debris or any other plant material that could be detrimental to plant growth. Topsoil shall be tested and certified by an independent laboratory. The pH range shall be between 6.5 - 8.0. Noxious or a substituted same trees. The pH range shall be between 6.5 - 8.0.



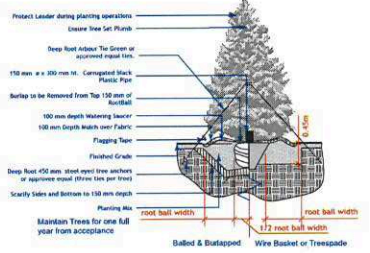
1 Sod Detail  
L-3 Scale: 1:10



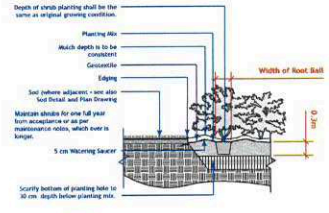
2 Mulched Planting Bed c.w. Fabric  
L-3 Scale: 1:10



3 Deciduous Tree Planting Detail  
L-3 Scale: 1:50



4 Evergreen Tree Planting Detail  
L-3 Scale: 1:50



5 Shrub Planting Detail  
L-3 Scale: 1:50

- General Notes**
- All work to conform to Canadian Landscape Standard (Current Edition)
  - All existing trees, sidewalks, curbs, catch basins, conduits, survey markers, to remain are to be protected during construction. Any damage to them is to be made good by the Contractor. Maintain them.
  - All work is to be warranted for a period of not less than 1 year.
  - Contractor is to limit operations to the area within the area of work shown on the drawing. Should areas outside of this limit be damaged during the course of construction, Contractor is to make good.
  - Contractor is to obtain location of all utilities prior to construction. If using power equipment to excavate contractor must notify Hydro and Gas and telephone utilities and take steps to avoid damaging the construction. If using power equipment to excavate contractor must notify Hydro and Gas and telephone utilities and take steps to avoid damaging the construction. Contractor is to make good.
  - Contractor to confirm all dimensions and report any discrepancies to Contract Administrator prior to.
  - Layout is to be approved by Contract Administrator and is to be confirmed by the Contractor. Contractor is to be responsible for the accuracy of all dimensions and report any discrepancies to Contract Administrator prior to.
  - All material depths in details are shown after compaction.

# Added From Plans	2022-08-27 D.S.
# Added From Change/Revised	2022-08-18 D.S.
# Down on 128 Comments Addressed	2022-08-19 D.S.
# Revises	2022-08-19 D.S.



Drawings and proper installation instructions are the property of the architect, the engineer or the landscape architect to whom they are prepared. No reproduction may be made without the permission of the architect, the engineer or the landscape architect. The contractor shall notify the architect or engineer in writing of any damage to the site and is held responsible for reporting any discrepancies to the architect for adjustment, prior to proceeding.

465 Edison  
Winnipeg, Manitoba

465 Edison

Details

Drawn by: DRS Checked by: DRS

L-3

Project No.: 21602 Date: August 9, 2021

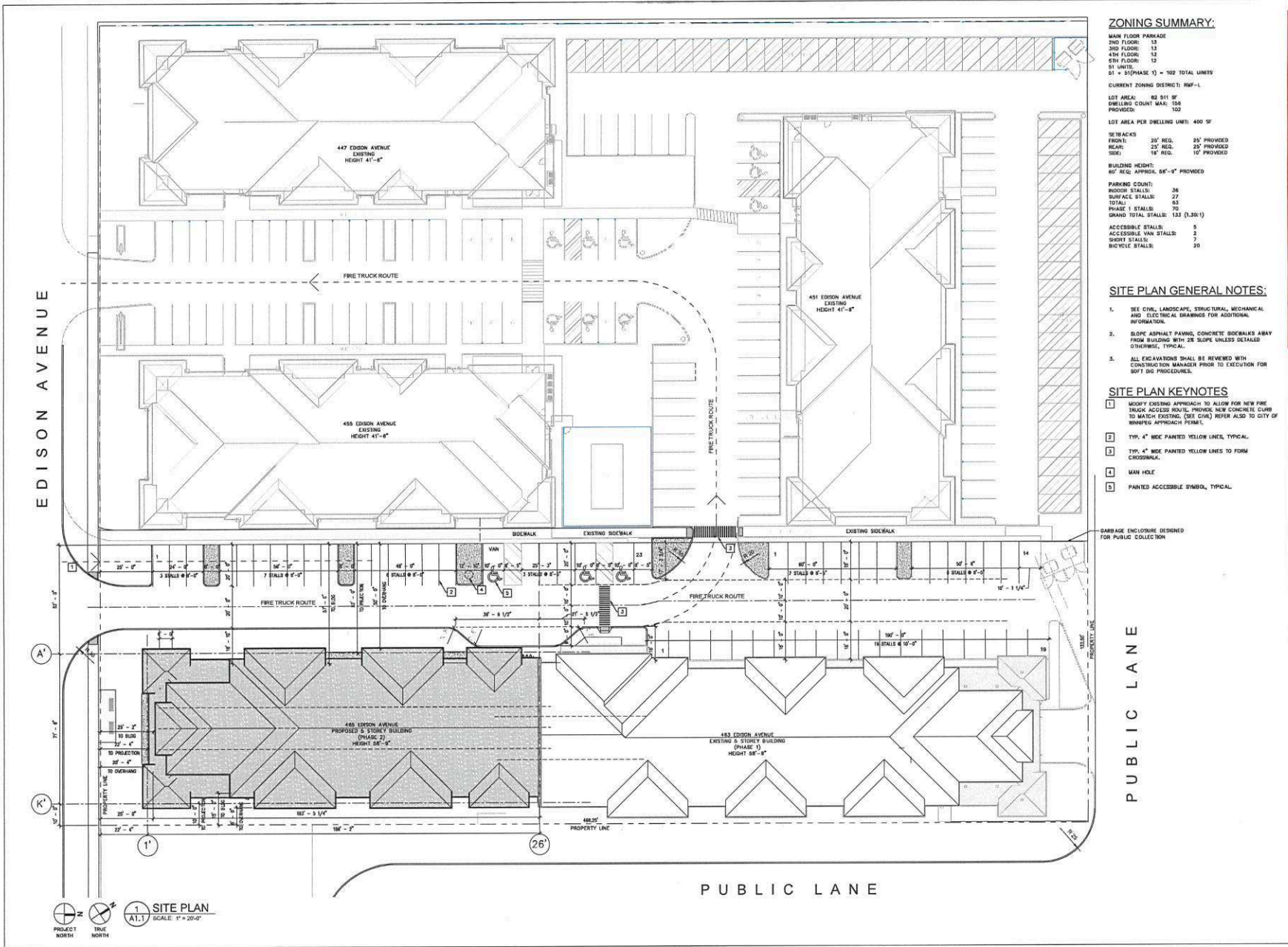
**SCHEDULE "A"** page 3 of 2

To Zoning Agreement: **DASZ 18/2022**

By-Law No.: By-Law 97/2022

Zoning Officer	Alicia D'Ottavio	11/29/2022
District Planner	D.L.	10/16/22
Community Clerk	M.G.	12/21/22
Approved for the Director of Planning, Property and Development	Martin Grady	

**\*Please note: Approved plans are subject to any amendments or conditions made by Community Committee.**



**ZONING SUMMARY:**

MAIN FLOOR PARKAGE  
2ND FLOOR: 13  
3RD FLOOR: 13  
4TH FLOOR: 13  
5TH FLOOR: 13  
91 UNITS  
01 + 51 (PHASE 1) = 102 TOTAL UNITS

CURRENT ZONING DISTRICT: RMF-1

LOT AREA: 82,511 SF  
SWEILING COUNT MAX: 158  
PROVIDED: 102

LOT AREA PER SWEILING UNITS 400 SF

SE TRACKS  
FRONT: 30' REQ. 25' PROVIDED  
REAR: 25' REQ. 25' PROVIDED  
SIDE: 14' REQ. 10' PROVIDED

BUILDING HEIGHT  
60' REQ. APPROX. 58'-8" PROVIDED

PARKING COUNT:  
INDOOR STALLS: 36  
SURFACE STALLS: 27  
TOTAL: 63  
PHASE 1 STALLS: 70  
GRAND TOTAL STALLS: 133 (0.30:1)

ACCESSIBLE STALLS: 9  
ACCESSIBLE VAN STALLS: 2  
SHORT STALLS: 7  
BIKEVUE STALLS: 20

**SITE PLAN GENERAL NOTES:**

- SEE CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- SLOPE ASPHALT PAVING, CONCRETE SIDEWALKS AWAY FROM BUILDING WITH 2% SLOPE, UNLESS SPECIFIED OTHERWISE, TYPICAL.
- ALL EXCAVATIONS SHALL BE REVIEWED WITH CONSTRUCTION MANAGER PRIOR TO EXECUTION FOR SOFT DIG PROCEDURES.

**SITE PLAN KEYNOTES**

- MODIFY EXISTING APPROACH TO ALLOW FOR NEW FIRE TRUCK ACCESS ROUTE. PROVIDE NEW CONCRETE CURB TO MATCH EXISTING. (SEE CIVIL) REFER ALSO TO CITY OF WINNIPEG APPROACH FORM.
- TYP. 4" WIDE PAINTED YELLOW LINES, TYPICAL.
- TYP. 4" WIDE PAINTED YELLOW LINES TO FORM CROSSWALK.
- MAN HOLE.
- PAINTED ACCESSIBLE SYMBOL, TYPICAL.

DAMAGE ENCLOSURE DESIGNED FOR PUBLIC COLLECTION

**SCHEDULE "A"** page 4 of 12

To Zoning Agreement: **D/SZ 18/2022**

By-Law No.: **By-Law 97/2022**

Zoning Officer: **Alicia D'Ortiz-Gro** 11/29/2022

Community Planner: **DL Thomas**

Approved for the Director of Planning, Property and Development: **Martin Grady**

**Winnipeg**

3	80% FOR CONSTRUCTION	2025.51	BH
4	80% FOR FOR REVIEW	2324.29	BH
5	80% FOR FOR REVIEW	3333.20	BH
6	80% FOR FOR REVIEW	2089.29	BH
7	80% FOR FOR REVIEW	2329.25	CH
8	80% FOR FOR REVIEW	2024.23	CH
9	80% FOR FOR REVIEW	2111.19	AM
No. Revision	Date		By

Creatures

**AFFINITY ARCHITECTURE**  
14th St - Elmwood • Winnipeg • Manitoba • R3C 1K6  
Phone: 204-633-0268 • Fax: 204-633-0269 • info@affinityarch.com

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**PROGRESSIVE REAL ESTATE**

465 EDISON AVENUE  
465 EDISON AVENUE, WINNIPEG, MB

SITE PLAN

Drawn: BH    Checked: EH

**A1.1**

Project: 19028    Date: MAY 11th, 2022



**\*Please note: Approved plans are subject to any amendments or conditions made by Community Committee.**

**SCHEDULE "A"** page 5 of 12

To Zoning Agreement: **DASZ 19/2022**

By-Law No.: **By-Law 97/2022**

Zoning Officer: **Atlecia D'Ottavio** 11/29/2022

District Planner: **Atlecia D'Ottavio**

Community Clerk: **Atlecia D'Ottavio**

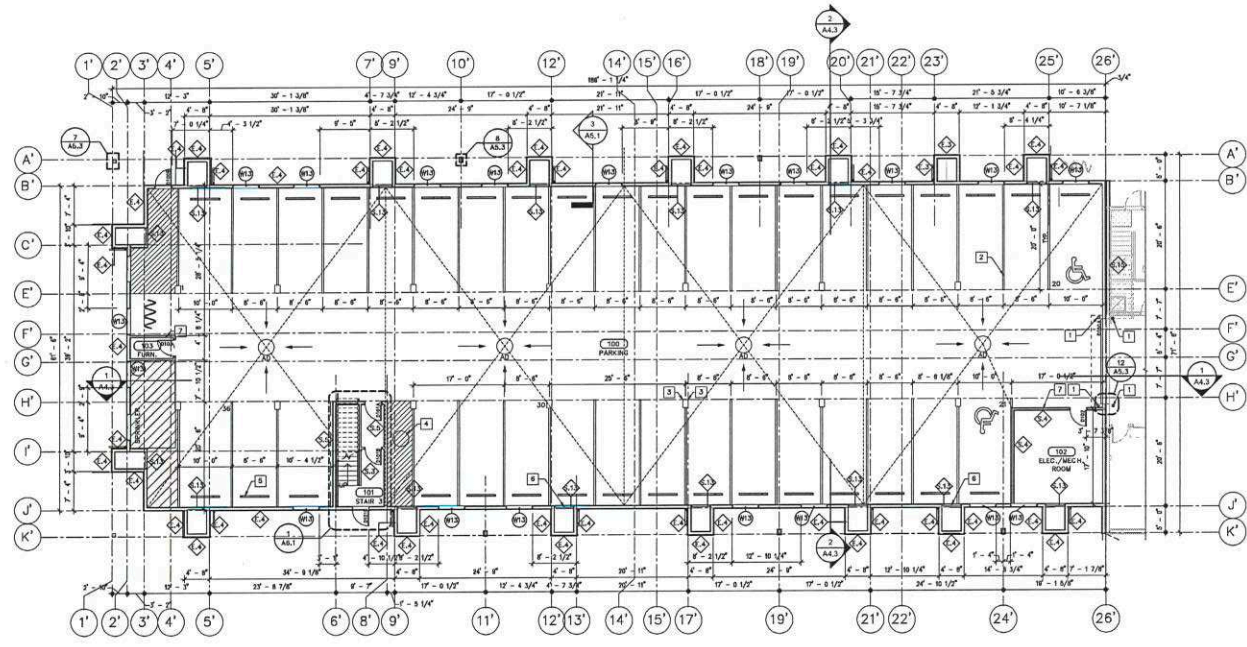
Approved for the Director of Planning, Property and Development: **Maureen Grady**

Winnipeg

3	ISSUED FOR CONSTRUCTION	22/5/11	BH
4	ISSUED FOR REVIEW	22/6/29	BH
5	ISSUED FOR REVIEW	22/8/30	BH
6	ISSUED FOR REVIEW/REVISED	22/9/25	BH
7	ISSUED FOR REVIEW	22/9/25	BH
8	ISSUED FOR CONSTRUCTION	22/10/21	BH
9	ISSUED FOR REVIEW	22/11/15	AM
10	DATE		BY

**MAIN FLOOR PLAN KEYNOTES:**

- 1 STEEL BOLARD C/W BASE PLATE, PAINTED SAFETY YELLOW, TYPICAL
- 2 TYP. 4" WIDE PAINTED YELLOW LINES, TYPICAL
- 3 48"x48" HIGH IMPACT HEAVY DUTY RUBBER CORNER GUARDS, TYPICAL TO ALL PARKING COLUMNS, TYPICAL
- 4 SEDIMENT INTERCEPTOR (SEE MECHANICAL)
- 5 FINISHED CONCRETE CURB, TYPICAL
- 6 TYPICAL 8"x12" ALUM. LOUVER VENTS TO BE INSTALLED @ BASE AND @ 8'-0" HT., TYPICAL
- 7 WALLS TO BE BUILT UP ON 8" CONCRETE CURBS, TYPICAL



**MAIN FLOOR PLAN**  
SCALE: 3/32" = 1'-0"

DOOR DATA		FRAME DATA		FIRE LABEL		HOW CODE		REMARKS				
BRAND	WIDTH	HEIGHT	THICK	TYPE	FIN	TYPE	MAT	FIN	NOTE			
<b>MAIN FLOOR LEVEL</b>												
DOOR	3'-0"	7'-0"	1 3/4"	1	HM	PT	A	PS	PT	50 MIN.	1	
DOOR	3'-0"	7'-0"	1 3/4"	5	HM	PT	A	PS	PT	50 MIN.	2	5
DOOR	3'-0"	7'-0"	1 3/4"	3	HM	PT	A	PS	PT	45 MIN.	4	5
DOOR	3'-0"	7'-0"	1 3/4"	1	HM	PT	A	PS	PT	50 MIN.	3	
DOOR	3'-0"	7'-0"	1 3/4"	1	HM	PT	A	PS	PT	50 MIN.	5	
DOOR	3'-0"	7'-0"	1 3/4"	1	HM	PT	A	PS	PT	50 MIN.	5	

**WALL TYPES:**

- 1 TYPICAL GRADE BEAM
  - CEMENT PAVING C/W WIRE MESH
  - 2" TYPE 3 EXTRUSION POLYSTYRENE INSULATION R10
  - SELF-ADHERED WATERPROOFING MEMBRANE
  - REINFORCED CONCRETE GRADE BEAM (SEE STRUCTURAL)
- 2 EXTERIOR WALL, FRR 1.0 HOUR, SM, NBC 2015 FRR (SEE ALTERNATIVE SOLUTION)
  - SEE EXTERIOR ELEVATIONS FOR MATERIAL/TEXTURE TYPES
  - ACRYLIC STUCCO FINISH SYSTEM C/W 1 1/2" TYPE 1 EPS INSULATION BOARD BY GEOMETRIC DRAINAGE PATTERN, R5
  - IMPACT RESISTANT MESH FOR FIRST 4'-0" HIGH
  - ACRYLIC VAPOUR PERMEABLE AIR/MOISTURE BARRIER, C/W ADHESIVE
  - 7/16" OSB SHEATHING (SEE STRUCTURAL)
  - 2x4 WOOD STUDS (SEE STRUCTURAL FOR STUDS SPACING)
  - BATT INSULATION, R20
  - 8 MIL POLY VAPOUR BARRIER
  - 5/8" FRR RATED GYPSUM BOARD, FINISHED AS SPECIFIED
- 3 EXTERIOR WALL - WIND & RETURN WALL
  - SEE EXTERIOR ELEVATIONS FOR MATERIAL/TEXTURE TYPES
  - ACRYLIC STUCCO FINISH SYSTEM C/W 1 1/2" TYPE 1 EPS INSULATION BOARD C/W GEOMETRIC DRAINAGE PATTERN (BOTH SIDES)
  - IMPACT RESISTANT MESH FOR FIRST 4'-0" HIGH
  - ACRYLIC VAPOUR PERMEABLE AIR/MOISTURE BARRIER, C/W ADHESIVE (BOTH SIDES)
  - 7/16" OSB SHEATHING (BOTH SIDES)
  - 2x4 WOOD STUDS @ 16" O.C.

**WALL TYPES CONT:**

- 4 EXTERIOR WALL, FRR 2.0 HR, (L8 REQ) BASED ON UIC 504 8324
  - SEE EXTERIOR ELEVATIONS FOR MATERIAL/TEXTURE TYPES
  - ACRYLIC STUCCO FINISH SYSTEM C/W 1 1/2" TYPE 1 EPS INSULATION BOARD BY GEOMETRIC DRAINAGE PATTERN, R5
  - IMPACT RESISTANT MESH FOR FIRST 4'-0" HIGH
  - ACRYLIC VAPOUR PERMEABLE AIR/MOISTURE BARRIER, C/W ADHESIVE
  - 7/16" OSB SHEATHING (SEE STRUCTURAL)
  - 2x4 WOOD STUDS (SEE STRUCTURAL FOR STUDS SPACING)
  - UNFACED MINERAL FIBER INSULATION, MIN. 48 KG/M<sup>3</sup>
  - 8 MIL POLY VAPOUR BARRIER
  - 2-LAYERS 5/8" FRR RATED GYPSUM BOARD, FINISHED AS SPECIFIED
- NOTE: ALL EPS SYSTEMS TO CONFORM TO NBC 3.13.3.3 AND 3.2.2.3.
- 5 NOT USED
- 6 NOT USED

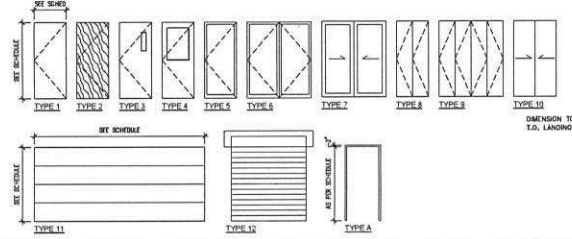
**WALL TYPES CONT:**

- 7 TYPICAL DEMISING WALL, FRR 1.0 HR, ASSEMBLY: MFC W19x/STC 68
  - 2 LAYERS 5/8" FRR RATED GYPSUM BOARD, FINISHED AS SPECIFIED
  - 2x4 WOOD STUDS, SPACING AS PER STRUCTURAL
  - ACoustICAL BATT INSULATION
  - 7/16" OSB SHEATHING ON INNER STUD W/TH (SEE STRUCTURAL)
  - 1" AIR SPACE
  - ACoustICAL BATT INSULATION
  - 2x4 WOOD STUDS, SPACING AS PER STRUCTURAL
  - 2 LAYERS 5/8" FRR RATED GYPSUM BOARD, FINISHED AS SPECIFIED
- 8 TYPICAL DEMISING WALL, FRR 1.0 HR, ASSEMBLY: MFC W19x/STC 68
  - SAME AS WALL TYPE "8" EXCEPT USE 2x4 WOOD STUDS
- 9 TYPICAL CORRIDOR WALL, FRR 1.0 HR, ASSEMBLY: MFC W14x/STC 51
  - 2 LAYERS 5/8" FRR RATED GYPSUM BOARD, FINISHED AS SPECIFIED
  - 1/2" RESISTANT METAL CHANNEL @ 24" O.C. (CORRIDOR SIDE)
  - 2x4 WOOD STUDS @ 16" O.C.
  - ACoustICAL BATT INSULATION
  - 5/8" FRR RATED GYPSUM BOARD, FINISHED AS SPECIFIED
- 10 THE RATED PARTITION, FRR 1.0 HR, ASSEMBLY: MFC W19x/STC 38
  - 5/8" FRR RATED GYPSUM BOARD, FINISHED AS SPECIFIED
  - 2x4 WOOD STUDS @ 16" O.C.
  - ACoustICAL BATT INSULATION
  - 5/8" FRR RATED GYPSUM BOARD, FINISHED AS SPECIFIED
- 11 THE RATED PARTITION, FRR 1.5 HR, ASSEMBLY: MFC W19x/STC 38 (SMALLER)
  - SAME AS WALL TYPE "10" EXCEPT USE 2x4 WOOD STUDS
- 12 THE RATED PARTITION, FRR 1.5 HR, ASSEMBLY: MFC W19x/STC 38 (SMALLER)
  - SAME AS WALL TYPE "10" EXCEPT USE 2x4 WOOD STUDS

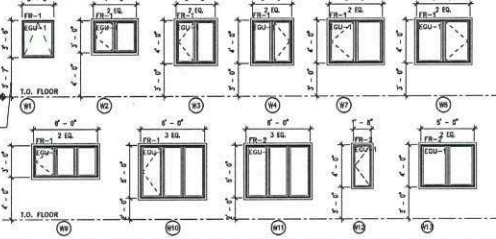
**WALL TYPES CONT:**

- 13 NON-LOAD BEARING FRR RATED PARTITION, FRR 2.0 HR, ASSEMBLY: MFC W19x/STC 38 (SMALLER)
  - 2 LAYERS 5/8" FRR RATED GYPSUM BOARD, FINISHED AS SPECIFIED
  - 2x4 WOOD STUDS @ 16" O.C.
  - ACoustICAL BATT INSULATION
  - 2 LAYERS 5/8" FRR RATED GYPSUM BOARD, FINISHED AS SPECIFIED
- 14 FRR RATED SHIRT WALL 1-HR, UIC 448 SYSTEM 6
  - 6" PROPRIETARY FRR RATED GYPSUM BOARD, FINISHED AS SPECIFIED
  - 1 1/2" PROPRIETARY C-8 STUDS, 2x4 @ 24" O.C.
  - 1 PROPRIETARY FRR RATED GYPSUM BOARD LAMER PANEL
- 15 TYPICAL INTERIOR PARTITION
  - 1/2" GYPSUM BOARD, FINISHED AS SPECIFIED
  - 2x4 WOOD STUDS @ 16" O.C.
  - 1/2" GYPSUM BOARD, FINISHED AS SPECIFIED
- 16 TYPICAL INTERIOR PARTITION
  - SAME AS WALL TYPE "15" EXCEPT 2x4 WOOD STUD
- 17 TYPICAL SOUND PARTITION, BASED ON MFC W19x/STC 32
  - 1/2" GYPSUM BOARD, FINISHED AS SPECIFIED
  - 2x4 WOOD STUDS @ 16" O.C.
  - ACoustICAL BATT INSULATION
  - 1/2" GYPSUM BOARD, FINISHED AS SPECIFIED
- 18 TYPICAL SOUND PARTITION, BASED ON MFC W19x/STC 38
  - SAME AS WALL TYPE "18" EXCEPT 2x4 WOOD STUD
- 19 THE RATED PARTITION, FRR 1.0 HR, ASSEMBLY: MFC W19x/STC 38
  - 5/8" FRR RATED GYPSUM BOARD, FINISHED AS SPECIFIED
  - 2x4 WOOD STUDS @ 16" O.C.
  - ACoustICAL BATT INSULATION
  - 5/8" FRR RATED GYPSUM BOARD, FINISHED AS SPECIFIED
- 20 THE RATED PARTITION, FRR 1.5 HR, ASSEMBLY: MFC W19x/STC 38 (SMALLER)
  - SAME AS WALL TYPE "19" EXCEPT USE 2x4 WOOD STUDS
- 21 THE RATED PARTITION, FRR 1.5 HR, ASSEMBLY: MFC W19x/STC 38 (SMALLER)
  - SAME AS WALL TYPE "19" EXCEPT USE 2x4 WOOD STUDS
- 22 TYPICAL WOOD STUD FURRING
  - 1/2" GYPSUM BOARD, LAMER & SANGED
  - 2x4 WOOD STUDS @ 16" O.C.
- 23 THE RATED PARTITION, FRR 2.0 HR, ASSEMBLY: UIC U3H, STC62
  - 2 LAYERS 5/8" FRR RATED GYPSUM BOARD, FINISHED AS SPECIFIED
  - 7/16" OSB SHEATHING (SEE STRUCTURAL)
  - 2x4 WOOD STUDS (SEE STRUCTURAL FOR SPACING)
  - ACoustICAL BATT INSULATION
  - 5/8" FRR RATED GYPSUM BOARD, FINISHED AS SPECIFIED
- 24 THE WALL (20 MIN FRR, UIC W14, STC 60)
  - 1/2" GYPSUM BOARD, LAMER & SANGED
  - 2x4 WOOD STUDS AS PER STRUCTURAL C/W R12 FIBERGLASS BATT INSULATION
  - 1/2" AIR SPACE
  - 1/2" LAYERS 1" THICK SHUTTLER C/W PREFINISHED METAL C & W-CHANNEL (AS PER MANUFACTURER)
  - 1/2" AIR SPACE
  - EXISTING 2 LAYER WATER RESISTIVE AIR BARRIER MEMBRANE (MAY BE REMOVED AFTER PHASE 1 BUILDING ENVELOPE IS COMPLETED)
  - EXISTING 2x4 WOOD STUDS AS PER STRUCTURAL C/W R12 FIBERGLASS BATT INSULATION
  - EXISTING 6 MIL POLY VAPOUR BARRIER
  - EXISTING 1/2" GYPSUM BOARD
- \*\* INSTALLED IN PHASE 2 SCOPE

**DOOR AND FRAME TYPES:**



**WINDOW TYPES:**



**AFFINITY ARCHITECTURE**  
 100-200-100-100 • Winnipeg • Manitoba • S2C1K  
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The contractor shall verify dimensions and details noted on these conditions on the job and shall be responsible for reporting any discrepancies to the architect. See Affinity Conditions of Contract.

**PROGRESSIVE REAL ESTATE**  
 465 EDISON AVENUE  
 465 EDISON AVENUE, WINNIPEG, MB

**MAIN FLOOR PLAN**

Drawn: BH Checked: BH

**A2.1**

Project No.: 19028 Date: MAY 11, 2022

**\*Please note: Approved plans are subject to any amendments or conditions made by Community Committee.**



1 SOUTH ELEVATION  
ELEV SCALE: 1/8" = 1'-0"

SCHEDULE "A" page 6 of 12



To Zoning Agreement: DASZ 18/2022

By-Law No.: By-Law 97/2022

Zoning Officer	Alicia D'Ottavio	11/29/2022
District Planner	DLV	12/16/22
Community Clerk	[Signature]	12/21/22
Approved for the Director of Planning, Property and Development	Martin Grady	

No. Revision Date

Comments



PROGRESSIVE REAL ESTATE

465 EDISON AVENUE  
465 EDISON AVENUE, WINNIPEG, MB

EXTERIOR ELEVATION

Drawn: BH Checked: BH

ELEV

Project No: 19028 Date: MAY 11th, 2022



**\*Please note: Approved plans are subject to any amendments or conditions made by Community Committee.**



**1 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**2 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

**SCHEDULE "A"** page 7 of 12

To Zoning Agreement **DASZ 18/2022**

By-Law No.: **By-Law 97/2022**

Zoning Officer	Alicia D'Ottavio	1/12/2022
District Planner	<i>ML</i>	12/16/22
Community Clerk	<i>DM</i>	12/21/22
Approved for the Director of Planning, Property and Development	Martin Grady	

No. 16000

Consultants

**AFFINITY**  
ARCHITECTURE + INTERIOR DESIGN + LANDSCAPE ARCHITECTURE

465 EDISON AVENUE  
WINNIPEG, MB R2M 2G8  
CANADA  
TEL: 204.781.1111  
WWW.AFFINITYARCHITECTURE.COM

PROGRESSIVE REAL ESTATE

465 EDISON AVENUE, WINNIPEG, MB

EXTERIOR ELEVATIONS

Drawn: BH Checked: BH

**ELEV.**

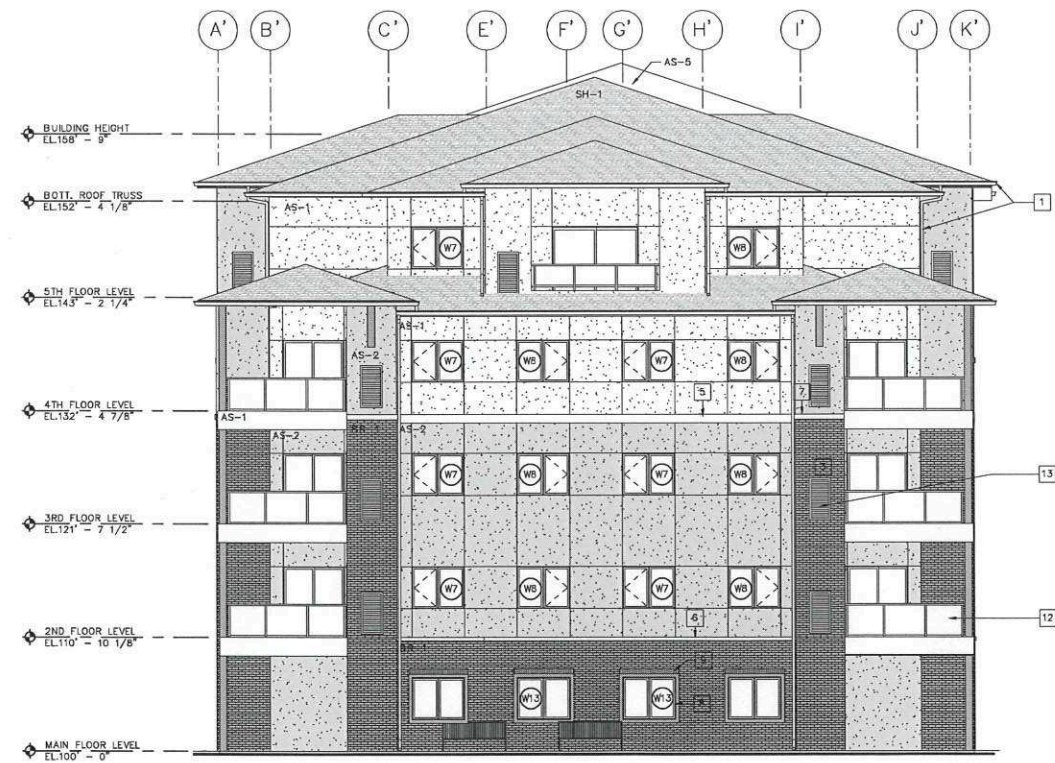
Project No: 19022 Date: MAY 11th, 2022



**\*Please note: Approved plans are subject to any amendments or conditions made by Community Committee.**



**1 EAST ELEVATION**  
A4.1 SCALE: 1/8" = 1'-0"



**2 SOUTH ELEVATION**  
A4.1 SCALE: 1/8" = 1'-0"

**GENERAL NOTES:**

- SEE CIVIL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- EXTERIOR SIGNAGE LOCATION PROVIDED BY OWNER. CONSTRUCTION MANAGER TO COORDINATE INSTALLATION REQUIREMENTS WITH SIGNAGE SUPPLIER AND ELECTRICAL CONTRACTOR. INSTALL PLYWOOD BACKING AS REQUIRED, TYPICAL.
- ENSURE CONTROL JOINTS AT EACH FLOOR LEVEL. TYPICAL.

**BUILDING FINISH LEGEND:**

- AS-1: EFS - BENJAMIN MOORE - HC-173 - EDGEComb GREY
- AS-2: EFS - BENJAMIN MOORE - CSP 70 - UPPER WEST SIDE
- AS-3: EFS - BENJAMIN MOORE - DC-88 - SNOW WHITE
- AS-4: EFS - COLOUR SAME AS BR-1 (MAIN FLOOR DOOR AND WINDOW TRIMS)
- AS-5: EFS - COLOUR TBD
- BR-1: EFS - BRICK PATTERN - SAMPLE AS PER BUILDER - COLOUR NAME TBD
- MORTAR AS PER BUILDER SAMPLE - COLOUR NAME TBD
- SH-1: ASPHALT - CHARCOAL FINISH
- AF-1: ALUMINUM FLASHINGS AT BALCONIES: - GENTEK - BRIGHT WHITE - #431
- OTHER: ALUMINUM FRAMED GLASS RAILING: PRE-FINISHED WHITE PAINT
- ALUMINUM DOWNSPOUT & GUTTER SYSTEM: PRE-FINISHED WHITE PAINT
- SOFFIT/FASCIA - GENTEK - BRIGHT WHITE - #431
- BALCONY FLOOR - DURADEK - COLOR TBD UPON BUILDER PRODUCT SELECTION

**EXTERIOR ELEVATION KEYNOTES:**

- ALUMINUM DOWNSPOUT AND GUTTER SYSTEM
- 8" WIDE X 4'-0" WOOD LOOK METAL CLAD ACCENT
- 1/2" WIDE "V" GROOVE REVEAL
- 1 1/2" THK. X 20" WIDE EFS BAND
- 1 1/2" THK. X 10" WIDE EFS BAND
- 1 1/2" THK. X 4" WIDE EFS BAND
- 1 1/2" THK. X 6" WIDE EFS BAND
- 4" WIDE EFS TRIM
- SOLDER COURSE BRICK-LOOK EFS
- RUNNING COURSE BRICK-LOOK EFS
- WOOD LOOK METAL CLAD P.T. TIMBER COLUMN. SEE STRUCTURAL.
- 42" HIGH ALUM FRAME GLASS RAILING
- MECHANICAL LOUVRE. SEE MECHANICAL.

**SCHEDULE "A"** page 8 of 12  
 To Zoning Agreement **DASZ 18/2022**  
 By-Law No. **97/2022**  
 ZONING OFFICER  
 DISTRICT PLANNER  
 COMMUNITY CLERK  
 CHIEF ADMINISTRATIVE OFFICER OF THE CITY OF WINNIPEG

12/16/2022  
 12/16/2022  
 12/21/22

7	ISSUED FOR CONSTRUCTION	22/05/11	BH
6	ISSUED FOR 90% REVIEW	22/04/29	BH
5	ISSUED FOR 66% REVIEW	22/03/30	BH
4	ISSUED FOR 33% REVIEW - REVISED	22/01/28	EH
3	ISSUED FOR 33% REVIEW	22/01/25	EH
2	ISSUED FOR COORDINATION	21/12/23	EH
1	ISSUED FOR CLIENT REVIEW	21/11/19	AM
No.	Revision:	Date	By:

Consultants:

**AFFINITY ARCHITECTURE INC.**  
 14th 200 - 4 Fort Street • Winnipeg • Manitoba • R3C 1K4  
 Phone: 204-983-6940 • Fax: 204-953-6556 • info@affinityarch.com

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 The contractor shall verify dimensions and data noted herein with conditions on the site and is held responsible for reporting any discrepancies to the architect for adjustment, prior to proceeding.

**PROGRESSIVE REAL ESTATE**

465 EDISON AVENUE  
 465 EDISON AVENUE, WINNIPEG, MB

EXTERIOR ELEVATIONS

Drawn: BH Checked by: EH

A4.1

Project No: 19028 Date: AUGUST 2022

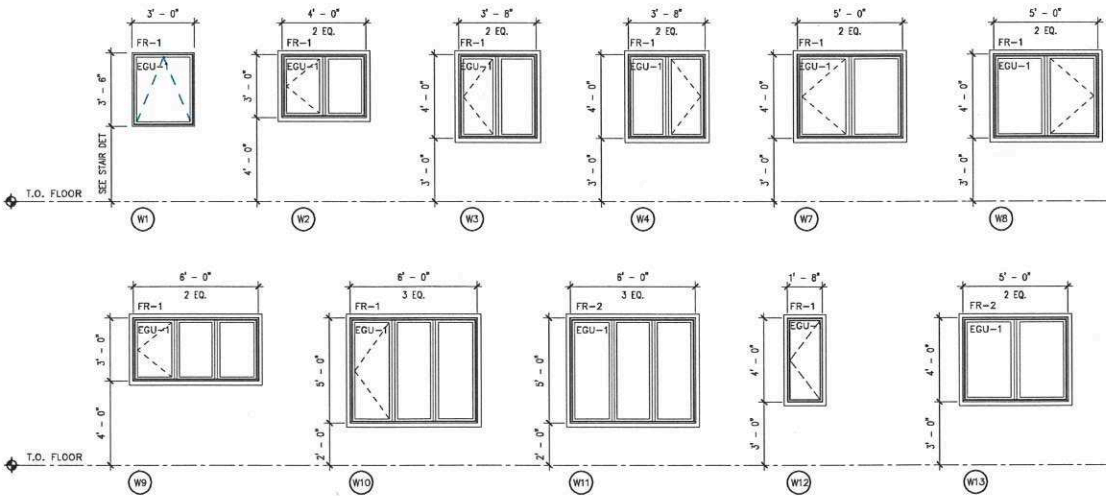


**\*Please note: Approved plans are subject to any amendments or conditions made by Community Committee.**



**1 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

**WINDOW ELEVATION:**



**WINDOW TYPE NOTES:**

**EXTERIOR WINDOW TYPES:**

- PRODUCTS:  
FR-1: PVC CASEMENT  
- PREFINISHED WHITE EXTERIOR  
- PREFINISHED WHITE INTERIOR  
- 1 OPERABLE SASH C/W LIMITING DEVICE  
FR-2: PVC FIXED SASH  
- PREFINISHED WHITE EXTERIOR  
- PREFINISHED WHITE INTERIOR
- ALL EXTERIOR WINDOW TYPES SHALL BE HERMETICALLY SEALED TRIPLE GLAZING WITH "LOW E" COATING, UNLESS NOTED OTHERWISE. REFER TO EXTERIOR GLAZING TYPES.
- ALL WINDOW DIMENSIONS SHOWN ARE APPROXIMATE AND MUST BE SITE VERIFIED. G.C. TO CONSTRUCT ROUGH OPENING PRIOR TO FABRICATION OF WINDOWS.
- ROD AND CAULK AROUND ALL EXTERIOR WINDOWS AND DOOR FRAMES, BOTH SIDES.

- PROVIDE ENGINEERED SHOP DRAWINGS FOR ALL EXTERIOR WINDOW UNITS.
- ALL OPERABLE WINDOWS C/W RESTRICTOR TO LIMIT OPENING TO 4" MAX.
- REFER TO EXTERIOR BUILDING ELEVATIONS FOR ORIENTATION OF OPERABLE SASHES.

**GLAZING TYPES:**

**EXTERIOR GLAZING TYPES:**

- TYPE EGU-1:  
- 3MM TRIPLE PANE GLASS  
- LOW E, ARION FILLED  
- WARM EDGE SPACER BAR  
- OVERALL U-VALUE = TO MATCH ENERGY MODEL MINIMUM

**INTERIOR GLAZING TYPES:**

- TYPE IGU-1:  
- 6.8MM WIRELITE NT WIRED GLASS.

NOTE: WINDOW SUPPLIER TO CONFIRM GLAZING THICKNESS AND STRENGTHENING TO CAN/COSB 12.20.M STANDARDS.

**GENERAL NOTES:**

- SEE CIVIL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- EXTERIOR SIGNAGE LOCATION PROVIDED BY OWNER. CONSTRUCTION MANAGER TO COORDINATE INSTALLATION REQUIREMENTS WITH SIGNAGE SUPPLIER AND ELECTRICAL CONTRACTOR. INSTALL PLYWOOD BACKING AS REQUIRED, TYPICAL.
- ENSURE CONTROL JOINTS AT EACH FLOOR LEVEL, TYPICAL.

**BUILDING FINISH LEGEND:**

- AS-1: EIFS - BENJAMIN MOORE - HC-173 - EDGE COMB GREY  
AS-2: EIFS - BENJAMIN MOORE - CSP 70 - UPPER WEST SIDE  
AS-3: EIFS - BENJAMIN MOORE - OC-66 - SNOW WHITE  
AS-4: EIFS - COLOUR SAME AS BR-1 (MAIN FLOOR DOOR AND WINDOW TRIMS)  
AS-5: EIFS - COLOUR TBD  
BR-1: EIFS - BRICK PATTERN - SAMPLE AS PER BUILDER - COLOUR NAME TBD  
MORTAR AS PER BUILDER SAMPLE - COLOUR NAME TBD  
SH-1: ASPHALT - CHARCOAL FINISH  
AF-1: ALUMINUM FLASHINGS AT BALCONIES: - GENTEK - BRIGHT WHITE - #431  
OTHER: ALUMINUM FRAMED GLASS RAILING: PRE-FINISHED WHITE PAINT  
ALUMINUM DOWNSPOUT & GUTTER SYSTEM: PRE-FINISHED WHITE PAINT  
SOFFIT/FASCIA - GENTEK - BRIGHT WHITE - #431  
BALCONY FLOOR - DURADEK - COLOR TBD UPON BUILDER PRODUCT SELECTION

**EXTERIOR ELEVATION KEYNOTES:**

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- 1 1/2" THK. X 6" WIDE EIFS BAND
- 4" WIDE EIFS TRIM
- SOLDER COURSE BRICK-LOOK EIFS
- RUNNING COURSE BRICK-LOOK EIFS
- WOOD LOOK METAL CLAD P.T. TIMBER COLUMN. SEE STRUCTURAL.
- 42" HIGH ALUM FRAME GLASS RAILING
- MECHANICAL LOUVRE. SEE MECHANICAL.

**SCHEDULE "A"** page **9** of **12**  
To Zoning Agreement **DASZ 18/2022**  
By-Law No. **97/2022**

**Winnipeg**  
2/16/2022  
2/16/22  
12/21/22

ZONING OFFICER  
DISTRICT PLANNER  
COMMUNITY CLERK  
CHIEF ADMINISTRATIVE OFFICER OF THE CITY OF WINNIPEG

7	ISSUED FOR CONSTRUCTION	220531	BH
6	ISSUED FOR 90% REVIEW	220429	BH
5	ISSUED FOR 60% REVIEW	220330	BH
4	ISSUED FOR 33% REVIEW - REVISED	220128	EH
3	ISSUED FOR 33% REVIEW	220125	EH
2	ISSUED FOR COORDINATION	211223	EH
1	ISSUED FOR CLIENT REVIEW	211110	AM
No.	Revision:	Date:	By:

Consultants:

**AFFINITY ARCHITECTURE INC.**  
Unit 207 - 4 Fort Street • Winnipeg • Manitoba • R3C 1K4  
Phone 204-852-6940 • Fax 204-493-4556 • info@affinityarch.com

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The contractor shall verify dimensions and data noted herein with conditions on the site and is held responsible for reporting any discrepancies to the architect for adjustment, prior to proceeding.

**PROGRESSIVE REAL ESTATE**

465 EDISON AVENUE  
465 EDISON AVENUE, WINNIPEG, MB

EXTERIOR ELEVATIONS AND WINDOW SCHEDULE

Drawn: BH Checked by: EH




**\*Please note: Approved plans are subject to any amendments or conditions made by Community Committee.**

SCHEDULE "A" page 10 of 12

To Zoning Agreement: DASZ 18/2022

By-Law No.: By-Law 97/2022



Zoning Officer	Alicia D'Ottavio	11/29/2022
District Planner	DCL	12/16/22
Community Clerk	<i>[Signature]</i>	12/21/22
Approved for the Director of Planning, Property and Development	Martin Grady	



West Perspective

PERSPECTIVE

19038



**\*Please note: Approved plans are subject to any amendments or conditions made by Community Committee.**

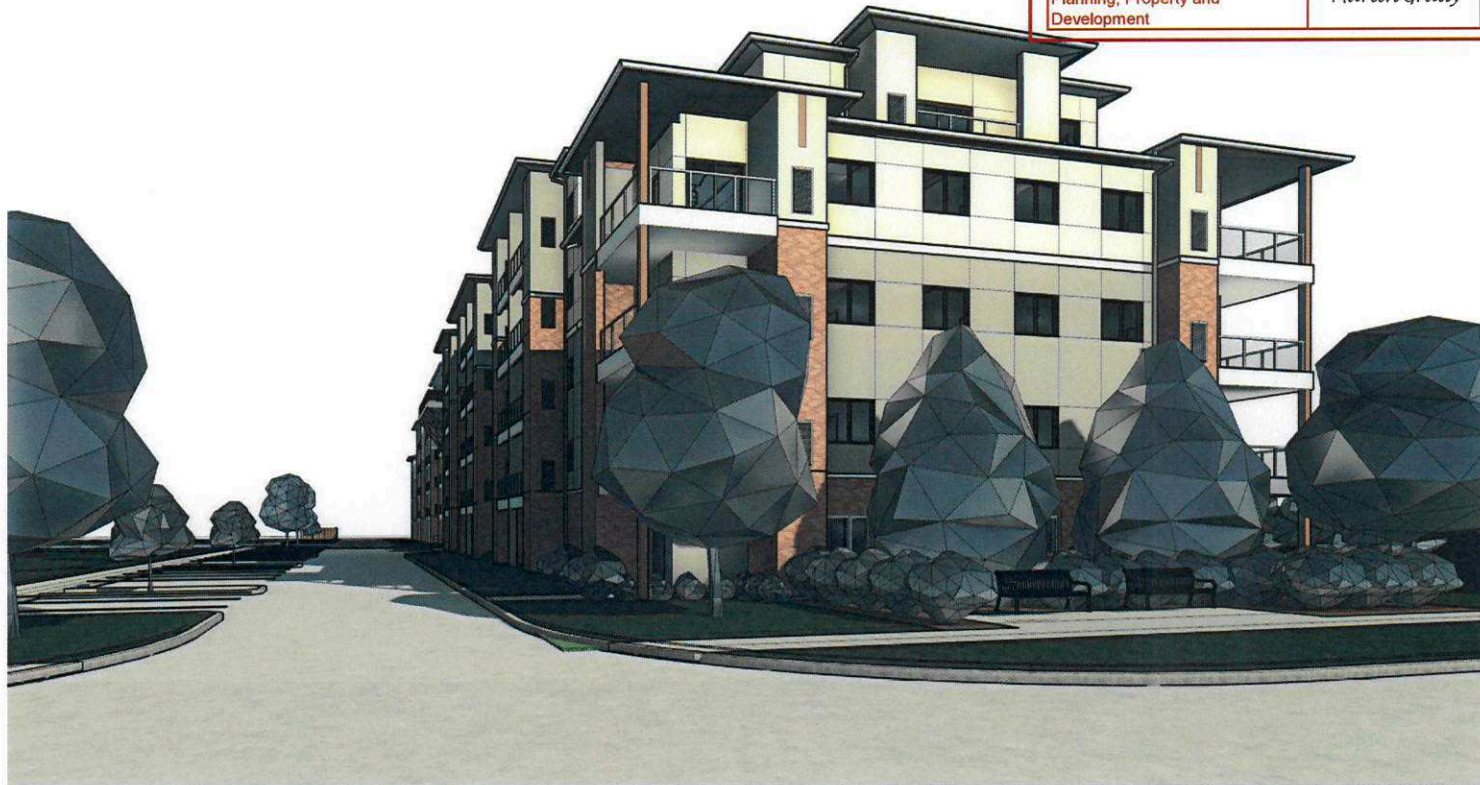
SCHEDULE "A" page 11 of 12



To Zoning Agreement: DASZ 18/2022

By-Law No.: By-Law 97/2022

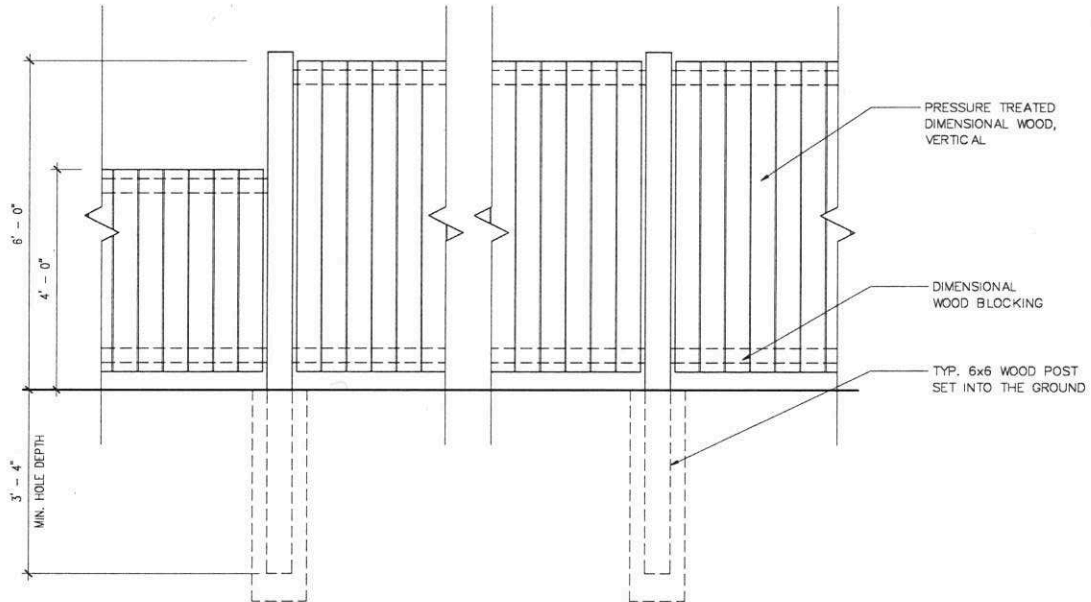
Zoning Officer	Alicia D'Ottavio	11/29/2022
District Planner	<i>DO</i>	<i>12/16/22</i>
Community Clerk	<i>Thomas</i>	<i>12/21/22</i>
Approved for the Director of Planning, Property and Development	Martin Grady	



South Perspective

PERSPECTIVE  
2

**\*Please note: Approved plans are subject to any amendments or conditions made by Community Committee.**



1 FENCE DETAIL  
A1.3 SCALE: 1/2" = 1'-0"


**SCHEDULE "A"** page 12 of 12.

To Zoning Agreement DAS2 18/2022

By-Law No. 97/2022

**Winnipeg**

ZONING OFFICER	<i>AD</i>	12/06/2022
DISTRICT PLANNER	<i>DL</i>	12/16/22
COMMUNITY CLERK	<i>James</i>	12/21/22
CHIEF ADMINISTRATIVE OFFICER OF THE CITY OF WINNIPEG		

 <b>AFFINITY ARCHITECTURE INC.</b> Unit 200 - 4 Fort Street • Winnipeg • Manitoba • R3C 1C4 Phone 204-982-6940 • Fax 204-453-4556 • info@affinityarch.com	Project:	465 EDISON AVENUE	Designed: BH	Reference Drawing No.
	Drawing Title:	FENCE DETAIL	Drawn: BH	Sheet No:
	Date:	12/05/22		<b>A1.3</b>
	Comm. No:	19028		Scale: 1/2" = 1'-0"